



THE CITY OF SAN DIEGO

## REPORT TO THE HEARING OFFICER

HEARING DATE: March 19, 2014 REPORT NO. HO 14-013

ATTENTION: HEARING OFFICER

SUBJECT: RESIDENCE INN; PROJECT NO. 322365  
PROCESS 3

LOCATION: 445 Camino Del Rio South

OWNER/  
APPLICANT: M7 Dev, LLC, a California Limited Liability Company

### SUMMARY

Requested Action: Should the Hearing Officer approve the demolition of an existing restaurant and construction of a 118-guestroom, 5-story hotel on a 1.41-acre site located at 445 Camino Del Rio South in the Mission Valley Community Planning area?

Staff Recommendation: **APPROVE** Site Development Permit No. 1126097.

Community Planning Group Recommendation: On December 4, 2013, the Mission Valley Planning Group voted 13-0-1 to recommend approval of the project with conditions (Attachment 9).

Environmental Review: This project is exempt from environmental review pursuant to Article 19, Section 15332 (Infill Development), of the California Environmental Quality Act (CEQA). The project proposes the demolition of an existing restaurant and subsequent construction of a 118-guestroom, 5-story hotel. The environmental exemption determination for this project was made on December 19, 2013. A Notice of Right to Appeal (NORA) the environmental determination was posted on February 11, 2014, and the opportunity to appeal that determination ended February 26, 2014 (Attachment 10).

### BACKGROUND

The project site is located at 445 Camino Del Rio South (Attachment 1), east of State Route 163 (Attachment 2). The site is in the Mission Valley-Commercial Office-Commercial Victor (MV-CO-CV) Zone of the Mission Valley Planned District (Attachment 3) within the in the Mission Valley Community Plan (Attachment 4), Hillside Subdistrict (Southern slopes) and the Development Intensity Overlay District Area J within the Mission Valley Planned District (MVPD), Federal Aviation Administration (FAA) Part 77 Noticing Area for the San Diego

International Airport (SDIA) Lindbergh Field and Montgomery Field, Airport Influence Area for the Montgomery Field, and the Transit Area Overlay Zone. The MV-CO-CV zoning designation allows for establishments catering to the lodging, dining, and shopping needs of visitors. The community plan designates the proposed project site for Office (office, professional-medical, and financial institutions) or Commercial-Recreation (lodging, recreational, and entertainment facilities) uses.

The project site is a trapezoid shaped lot with frontage along Camino Del Rio South. The parcel has been previously graded and developed with a 9,216-square foot restaurant (El Torito's), which was constructed in 1975. The project site currently has two driveway/access points from Camino Del Rio South. The northern driveway is shared with the Benihana restaurant and the southern driveway is shared with the Worldmark Timeshare Hotel complex. The properties to the north and east are zoned MV-CO-CV, the properties to the west are zoned MV-CO, and the property to the south is zoned CC-1-3. The community plan designates the property to the west for Commercial Office use, and the properties to the north, east and south are designated for Office or Commercial-Recreation uses.

## DISCUSSION

### Project Description:

The project proposes the demolition of the restaurant and construction of a 118-guestroom, 5-story hotel with underground parking on a 1.41-acre site. The development proposes a maximum building height of 63-feet 2-inches. The property is an interior lot, located at 445 Camino Del Rio South, east of State Route 163, in the MV-CO-CV Zone within the Hillside Subdistrict (Southern slopes) and the Development Intensity Overlay District Area J of the MVPD. The southern portion of the project site is identified within the Hillside (25-percent or greater slope gradient) area within the Mission Valley Community Plan (MVCP). However, the property contains a maximum 15-foot slope differential or 7.4-percent slope with a highest slope contour of 55-feet. Therefore, the site is not within or adjacent to the Multiple Species Conservation Program (MSCP) Multiple Habitat Planning Area (MHPA) and does not contain any other type of Environmental Sensitive Lands (ESL) as defined in Land Development Code (LDC) Section 113.0103.

Within the Hillside Subdistrict, the building height is limited to 40-feet. An exception to the 40-foot height limit may be approved up to 65-feet in height if specific development standards are met in accordance with LDC Section 1514.0303(c)(1)(A). These development standards are as follows: 1. All natural existing hillside vegetation and topography shall be preserved; 2. Any previously graded hillsides shall be recontoured into a naturalistic form and revegetated with indigenous plants; and 3. Buildings and structures shall be designed and sited so that a minimum 30-foot wide open public view corridor is created to the hillside from adjacent public streets and freeways.

The Worldmark Timeshare Hotel complex to the south is located between the project site and the existing hillside, and the project site does not contain any existing natural hillside vegetation or topography. Therefore, the first and second development standards are not applicable to the proposed site.

The third development standard requires the building to be designed and sited so that a minimum 30-foot wide open public view corridor is created to the hillside from adjacent public streets and freeways. Although the proposed project provides a view corridor along Camino Del Rio South of 21-feet (measuring from property line to the building edge along the west side), the current public view toward the hillside is already blocked by the adjacent Worldmark Timeshare Hotel complex to the south. Therefore, the view corridor requirement is not applicable at this location and the request to exceed the 40-foot height limit may be approved up to 65-feet in height.

The proposed development would be located on private property and proposes no deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use, design guidelines, and development standards in effect for this site. Development of the proposed project requires the approval of a Process 3 Site Development Permit (SDP) for development on a property that's located within the MVPD. As a component of the proposed project, the building will utilize renewable energy technology, and will achieve a United States Green Building Council's (USGBC's) Leadership in Energy and Environmental Design (LEED) Silver Certification. Because the project utilizes renewable technologies and qualifies as a Sustainable Building, the land use approvals have been processed through the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

#### Project-Related Issues:

Airport Land Use Commission Consistency Determination- The project site is located in the FAA Part 77 Noticing Area for the SDIA Lindbergh Field and Montgomery Field. The proposed maximum building height of 63-feet 2-inches is less than the 80-foot threshold for FAA Part 77 notification for this particular site. The proposed project will not be required to notify the FAA. In addition, the project site is located in the Airport Influence Area for Montgomery Field, but it is not in the Airport Land Use Compatibility (ALUCP) Noise Exposure Zone and Safety Zone area; therefore, an Airport Land Use Commission consistency determination is not required for the proposed development.

#### Community Plan Analysis:

The project site is located at 445 Camino Del Rio South, east of State Route 163, in the MVCP area. The community plan designates the site for Office (office, professional-medical, and financial institutions) or Commercial-Recreation (lodging, recreational, and entertainment facilities) uses. The proposed 118-guestroom hotel is in conformance with the Commercial-Recreation land use designation.

The southern portion of the project site is identified within the Hillsides (25-percent or greater slope gradient) area within the MVCP. However, the property contains a maximum 15-foot slope differential or 7.4-percent slope with a highest slope contour of 55-feet. In this area, the MVCP objective is to allow for low-intensity development to occur on remaining hillsides exceeding 25-percent slope to be located below the 150-foot elevation contour. Even though the property does not contain a 25-percent or greater slope gradient, the proposed maximum building height of 63-feet 2-inches with the highest slope contour of 55-feet would have an overall height of 118-feet 2-inches, which is below 150-foot elevation contour.

The MVCP contains goals and policies for design and development, including criteria for hillside and density. These design criteria have been incorporated in the MVPD Ordinance regulations that govern the site. The proposed project meets all applicable regulations and complies with all policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site.

Community Group:

On December 4, 2013, the Mission Valley Planning Group voted 13-0-1 to recommend approval of the project with the following conditions: 1) Applicant fulfills all outstanding City cycle comments; 2) Project is determined to be exempt from environmental review; and 3) Applicant includes rendering and materials proposed for the project in the recorded discretionary documents.

*Staff's Response:* 1) The applicant has fulfilled all of the outstanding review comments and had submitted all of the required documents. 2) The City of San Diego, as Lead Agency, through the Development Services Department, conducted an Initial Study of the proposed development, made and issued an Environmental Determination that the project is exempt from CEQA under CEQA Article 19, Section 15332 (Infill Development). 3) The rendering and material information has been incorporated into the plans and is referenced in the Permit and Resolution as Exhibit "A."

Conclusion:

The project meets all applicable regulations and policy documents, and staff finds the project consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted MVCP, LDC, and the General Plan. As a component of the proposed project, the building will utilize renewable energy technology, and will achieve a LEED Silver Certification.

ALTERNATIVES

1. **APPROVE** Site Development Permit No. 1126097, **with modifications.**
2. **DENY** Site Development Permit No. 1126097, **if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,



Jeffrey A. Peterson  
Development Project Manager  
Development Services Department

WESTLAKE/JAP

Attachments:

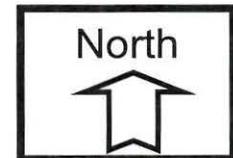
1. Location Map
2. Aerial Photograph
3. Zoning Map
4. Community Plan Land Use Map
5. Project Data Sheet
6. Project Plans
7. Draft Permit with Conditions
8. Draft Resolution with Findings
9. Community Group Recommendation
10. Environmental Exemption
11. Ownership Disclosure Statement
12. Project Chronology
13. Copy of Public Notice (forwarded to HO)
14. Copy of Project Plans (full size-forwarded to HO)

Internal Order No. 24003752



## Location Map

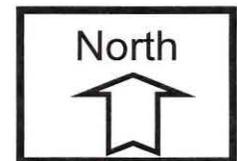
Residence Inn; Project No. 322365  
445 Camino Del Rio South

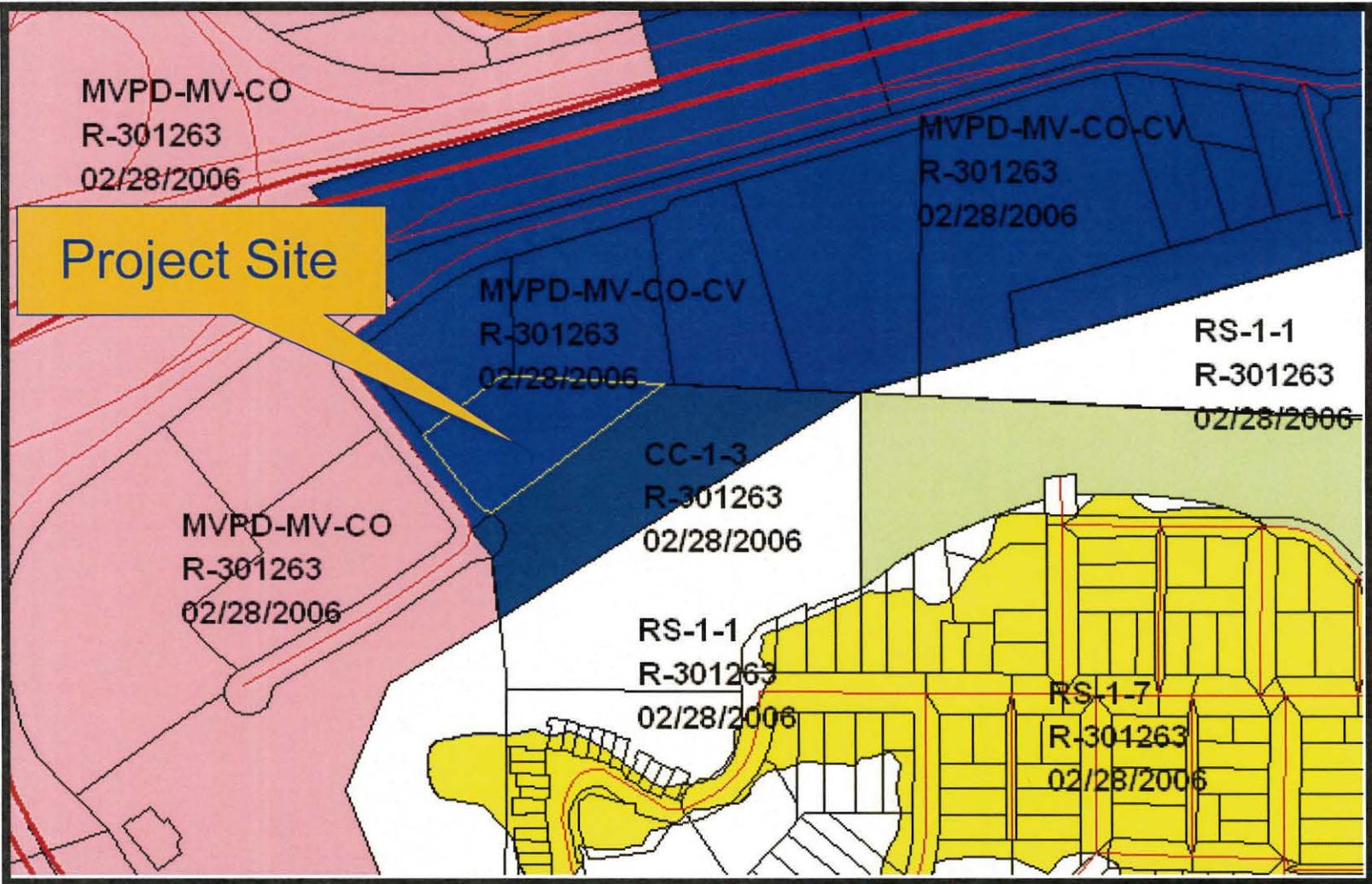




# Aerial Photograph

Residence Inn; Project No. 322365  
445 Camino Del Rio South

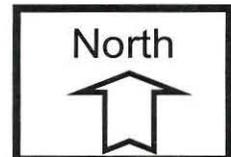


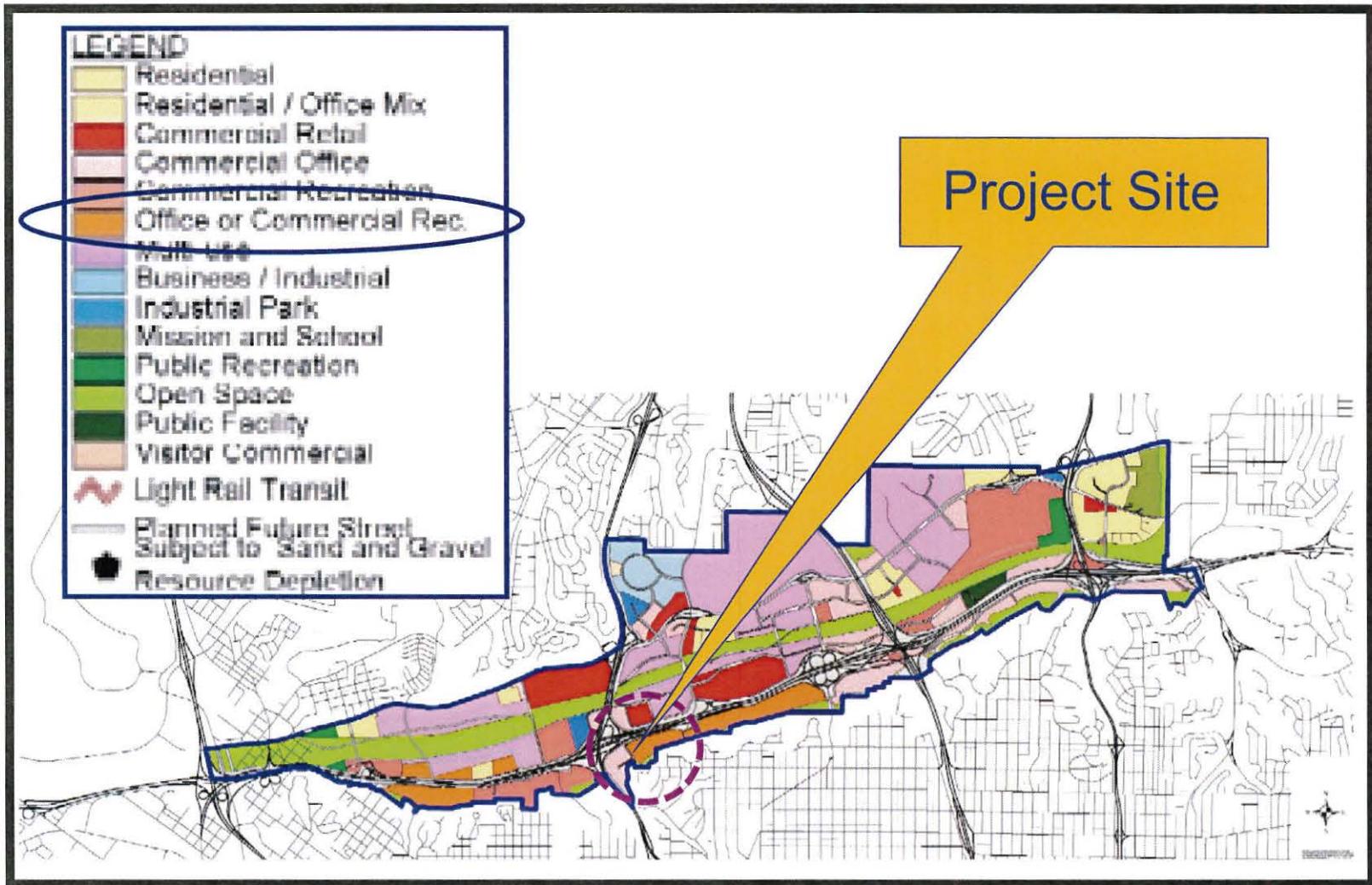


## Zoning Map (MVPD-MV-CO-CV)

Residence Inn; Project No. 322365

445 Camino Del Rio South

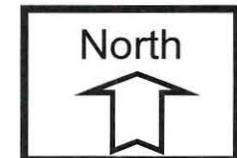




# Mission Valley Community Land Use Map

Residence Inn; Project No. 322365

445 Camino Del Rio South



## PROJECT DATA SHEET

<b>PROJECT NAME:</b>	Residence Inn; Project No. 322365	
<b>PROJECT DESCRIPTION:</b>	Demolition of an existing restaurant and construction of a 118-guestroom, 5-story hotel on a 1.41-acre site.	
<b>COMMUNITY PLAN AREA:</b>	Mission Valley	
<b>DISCRETIONARY ACTIONS:</b>	Site Development Permit	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Office (office, professional-medical, and financial institutions) or Commercial-Recreation (lodging, recreational, and entertainment facilities) uses.	
<b><u>ZONING INFORMATION:</u></b>		
<b>ZONE:</b> MV-CO-CV Zone of the Mission Valley Planned District		
<b>HEIGHT LIMIT:</b> 40-foot standard/65-foot exception LDC Section 1514.0303(c)(1)(A)		
<b>LOT SIZE:</b> 5,000 square feet		
<b>FLOOR AREA RATIO:</b> NA		
<b>LOT COVERAGE:</b> 70 percent		
<b>FRONT SETBACK:</b> 20-foot		
<b>SIDE SETBACK:</b> 15-foot		
<b>STREETSIDE SETBACK:</b> NA		
<b>REAR SETBACK:</b> 8-foot		
<b>PARKING:</b> 118 on-site spaces or 102 with a TDM Reduction		
<b><u>ADJACENT PROPERTIES:</u></b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	Office or Commercial-Recreation; MV-CO-CV	Restaurant
<b>SOUTH:</b>	Office or Commercial-Recreation; R-S & NC-S	Hotel
<b>EAST:</b>	Office or Commercial-Recreation; MV-CO-CV	Hotel
<b>WEST:</b>	Commercial Office; MV-CO	Office
<b>DEVIATIONS OR VARIANCES REQUESTED:</b>	None.	
<b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b>	On December 4, 2013, the Mission Valley Planning Group voted 13-0-1 to recommend approval of the project with conditions.	



**LEGAL DESCRIPTION**

REAL PROPERTY IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBE AS FOLLOWS:  
 PARCEL 1:  
 LOT 2 OF CROSS ROAD MISSION VALLEY, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7395, ON FILE IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON AUGUST 9, 1972.  
 PARCEL 2:  
 NON-EXCLUSIVE EASEMENTS WITHIN THE COMMON AREAS OF LOTS 1 AND 3 OF CROSSROADS MISSION VALLEY, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7395 ON FILE IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON AUGUST 9, 1972, AS SET FORTH IN THAT CERTAIN DOCUMENT ENTITLED DECLARATION OF RESTRICTIONS AND GRANT OF EASEMENTS DATED MARCH 8, 1975, EXECUTED BY CROSSROADS ASSOCIATES, A GENERAL PARTNERSHIP, RECORDED APRIL 7, 1975, DOCUMENT NO. 75-07787 OF OFFICIAL RECORDS.  
 APN: 444-120-05-00

**LEED INFORMATION**

THE FOLLOWING SUSTAINABLE, CLEAN, AND GREEN BUILDING AND DEVELOPMENT DESIGN TECHNIQUES AS WELL AS CONSERVATION EFFORTS WILL BE INCORPORATED INTO THE DESIGN OF THE RESIDENCE INN PROJECT. THESE DESIGN TECHNIQUES ARE BASED ON THE PRINCIPLES OF THE UNITED STATES GREEN BUILDING COUNSEL (USGBC) SILVER CERTIFICATION, WHICH IS ALSO CONSISTENT WITH COUNCIL POLICY 200-14, AND THE GENERAL PLAN FOR THE CITY OF SAN DIEGO.

- BUILDING SITE WILL BE ACCESSIBLE TO PUBLIC TRANSPORTATION, IN EFFORTS TO REDUCE THE AMOUNT OF GAS EMISSIONS PRODUCED WHEN MULTIPLE BUILDING OCCUPANTS COMMUTE USING INDIVIDUAL TRANSPORTATION.
- BUILDING SITE WILL PROVIDE BICYCLE RACKS AND SHOWERING FACILITIES TO ENCOURAGE BUILDING OCCUPANTS TO USE TRANSPORTATION THAT HAS NO IMPACT ON THE ENVIRONMENT, REDUCING GAS EMISSIONS.
- BUILDING SITE WILL PROVIDE PREFERRED PARKING NEAR THE ENTRANCE OF THE BUILDING, FOR OCCUPANTS WHO COMMUTE USING LOW-EMISSION AND FUEL-EFFICIENT VEHICLES, WHICH WILL LIMIT THE ENVIRONMENTAL IMPACT FROM AUTOMOBILE USE.
- BUILDING SITE WILL PROVIDE NO ADDITIONAL PARKING OUTSIDE OF WHAT LOCAL ZONING, ALLOWING TO REDUCE AMOUNT OF CARS ON THE ROAD, CUT DOWN THE SPRAWL OF PARKING FACILITIES, AND REDUCE THE NEGATIVE ENVIRONMENTAL IMPACT OF PARKING INFRASTRUCTURES.
- BUILDING SITE WILL MAXIMIZE OPEN SPACE BY PROVIDING OPEN SPACE BASED ON LOCAL ZONING AND OPEN SPACE REQUIREMENTS, WHICH WILL HELP WITH NATURAL STORM WATER MANAGEMENT, AND MITIGATE THE URBAN HEAT ISLAND EFFECT.
- BUILDING SITE WILL REDUCE THE AMOUNT OF IMPERVIOUS SURFACES ON SITE, SO THE POST-DEVELOPMENT PEAK RAINWATER RUN-OFF RATE AND QUANTITY WILL NOT EXCEED THE PRE-DEVELOPMENT RATE AND QUANTITY.
- BUILDING SITE WILL IMPLEMENT A STORM WATER MANAGEMENT PLAN AND UTILIZE BEST MANAGEMENT PRACTICES TO MAINTAIN THE QUALITY OF RAINFALL TO THE SITE.
- BUILDING SITE WILL UTILIZE HARDSCAPES WITH HIGH SOLAR REFLECTANCE INDEX AND SHADING TO REDUCE THE HEAT ISLAND EFFECT TO MINIMIZE IMPACTS ON MICROCLIMATE, HUMAN, AND WILDLIFE HABITATS.
- THE BUILDING'S ROOF WILL HAVE A HIGH SOLAR REFLECTANCE INDEX TO REDUCE THE HEAT ISLAND EFFECT IN THE ENVIRONMENT.
- THE BUILDING IS DESIGNED TO INCREASE WATER EFFICIENCY ABOVE CODE REQUIREMENTS TO REDUCE THE BURDEN ON MUNICIPAL WATER SUPPLY AND WASTE WATER SYSTEMS.
- THE BUILDING'S MECHANICAL AND ELECTRICAL SYSTEMS ARE DESIGNED TO REDUCE ENVIRONMENTAL AND ECONOMIC IMPACTS ASSOCIATED WITH EXCESSIVE ENERGY USE.
- THE BUILDING WILL UTILIZE ON-SITE RENEWABLE ENERGY TO REDUCE THE ENVIRONMENTAL AND ECONOMIC IMPACTS ASSOCIATED WITH FOSSIL FUEL ENERGY USE.
- THE BUILDING WILL HAVE DEDICATED AREAS FOR STORAGE OF RECYCLABLE MATERIALS, TO ENCOURAGE THE REUSE OF MATERIALS AND REDUCE THE AMOUNT OF WASTE, GENERATED BY BUILDING OCCUPANTS, THAT IS SHIPPED AWAY AND SENT TO LANDFILLS.
- BUILDING SITE WILL PROVIDE DEDICATED SMOKING AREA LOCATED OUTSIDE, AND 25FT FROM ANY BUILDING ENTRIES, OUTDOOR AIR INTAKES AND OPERABLE WINDOWS TO ELIMINATE EXPOSURE OF BUILDING OCCUPANTS AND INDOOR ENVIRONMENTS TO TOBACCO SMOKE.
- THE BUILDING VENTILATION SYSTEMS WILL BE DESIGNED TO MAXIMIZE OUTDOOR AIR INTAKE TO INCREASE THE HEALTH AND WELL-BEING OF BUILDING OCCUPANTS.
- THE BUILDING WILL BE BUILT UTILIZING A SPECIFIED PERCENTAGE OF RECYCLED MATERIALS, TO MINIMIZE THE IMPACTS RESULTING FROM EXTRACTION AND PROCESSING OF VIRGIN MATERIALS.
- THE BUILDING WILL UTILIZE A SPECIFIED PERCENTAGE OF LOCAL RESOURCES FOR BUILDING MATERIALS AND PRODUCTS, TO REDUCE THE ENVIRONMENTAL IMPACTS OF TRANSPORTING MATERIALS ACROSS LONG DISTANCES, AND TO CONTRIBUTE TO THE ECONOMIC WELL-BEING OF THE LOCAL ECONOMY.

**PROJECT INFORMATION**

**PROJECT ADDRESS:**  
 410 CAMINO DEL RIO SOUTH  
 SAN DIEGO, CALIFORNIA 92108  
**ASSESSOR PARCEL NUMBER:**  
 444-120-05  
**GOVERNING CODE:**  
 C.S.C. 2010 (CALIFORNIA BUILDING CODE)  
 THIS PROJECT SHALL COMPLY WITH THE 2010 EDITION OF THE CALIFORNIA BUILDING CODE (TITLE 24) WHICH ADOPTS THE 2009 I.R.C., 2009 U.P.C., AND THE 2009 M.E.C.  
**ZONE:**  
 MH-00-01 ZONE  
 DEVELOPMENT INTENSITY DISTRICT "F"  
 FAA PART 77  
**USE:**  
 EXISTING: 2-STORY RESTAURANT WITH SURFACE PARKING  
 PROPOSED: 5-STORY, 118 GUESTROOM HOTEL WITH 1 LEVEL OF SUBTERRANEAN PARKING, SURFACE PARKING, POOL AND OUTDOOR AMENITY SPACE  
**CONSTRUCTION TYPE:**  
 HOTEL: SUBTERRANEAN PARKING = (TYPE I, SPRINKLERED)  
 LEVELS 1-5 = (TYPE II, SPRINKLERED)  
**OCCUPANCY:**  
 HOTEL: R-1  
 PARKING GARAGES: R-2  
**LOT SIZE:**  
 81,546 SF. (1.81 AC)  
**GROSS FLOOR AREA:**  
 SEE DEVELOPMENT SUMMARY TABLE  
 REFER TO LANDSCAPE DRAWINGS FOR WATER CONSERVATION SQUARE FOOTAGE  
**F.A.R.:**  
 PROPOSED = 1.39  
**STRUCTURAL COVERAGE:**  
 MAX. ALLOWED = 50%  
 PROPOSED = 29.9%  
**GUESTROOM COUNT:**  
 MAX. ALLOWED = DEVELOPMENT INTENSITY DISTRICT "F" ALLOWS 671 TRIPS PER GROSS ACRE, HOTEL USE IS ALLOTTED 4 TRIPS PER GUESTROOM.  
 (1,413 x 871) / 8 = 118 GUESTROOMS MAX.  
 PROPOSED = 118 GUESTROOMS  
**GEOLOGICAL HAZARD CATEGORY:**  
 37 & 38

**PROJECT DIRECTORY**

**OWNER:**  
 T2 DEVELOPMENT  
 200 NEWPORT CENTER DRIVE  
 FOURTEENTH FLOOR  
 NEWPORT BEACH, CALIFORNIA  
 949, 819, 8000  
 CONTACT: RASHIK PATEL  
**ARCHITECT:**  
 JONES | BALLARD ARCHITECTS  
 1024 WALL STREET  
 LA JOLLA, CA 92037  
 619, 577, 3075  
 CONTACT: STEPHEN JONES  
 W SCOTT BALLARD  
**CIVIL ENGINEER:**  
 KPFF CONSULTING ENGINEERS  
 1800 VON KARMAK AVENUE  
 TENTH FLOOR  
 IRVINE, CA 92612  
 949, 252, 1822  
 CONTACT: OMAR MADDEL  
**LANDSCAPE ARCHITECT:**  
 GARRIN & GARRIN  
 715 1/2 STREET, STE. 307  
 SAN DIEGO, CA 92101  
 619, 521, 4767  
 CONTACT: RICK GARRIN

**PROJECT SCOPE**

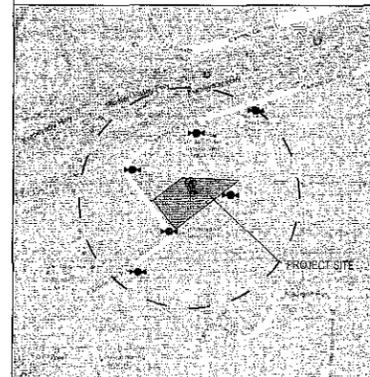
THE PROJECT REQUIRES A SITE DEVELOPMENT PERMIT  
 THE SITE IS CURRENTLY DEVELOPED WITH A 2-STORY RESTAURANT WITH SURFACE PARKING.  
 THE OWNER'S INTENT IS TO IMPROVE THE PROPERTY BY REMOVING ALL EXISTING BUILDINGS EXCEPT RESTAURANT BUILDING ORIGINALLY BUILT IN THE MID-1970S AND BUILDING ONE, 118 GUESTROOM (5) STORY HOTEL BUILDING WITH (1) LEVEL OF SUBTERRANEAN PARKING, SURFACE PARKING, POOL AND OUTDOOR AMENITY SPACE.  
 THIS PROJECT PROPOSES TO DEVIATE FROM THE PARKING REQUIREMENT OF 1 PARKING SPACE PER GUESTROOM TO 0.85 PARKING SPACES PER GUESTROOM WITH THE IMPLEMENTATION OF A TRANSPORTATION DEMAND MANAGEMENT PLAN (TDM).  
 THIS PROJECT PROPOSES TO DEVIATE FROM THE STANDARD 45'-0" HEIGHT LIMIT TO AN ALLOWABLE 50'-0" MAX. HEIGHT LIMIT PER THE MISSION VALLEY PLANNED DISTRICT ORDINANCE.  
 THERE WILL BE NO CONFERENCE CENTERS / MEETING ROOMS.

**SHEET INDEX**

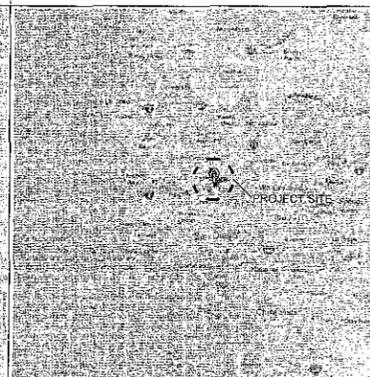
- ARCHITECTURAL:**
- 0.0: COVER SHEET
  - T100: TITLE SHEET
  - A100: ARCHITECTURAL SITE PLAN
  - A101: FIRE ACCESS PLAN
  - A200: PARKING GARAGE & FIRST FLOOR PLANS
  - A201: TYPICAL UPPER FLOOR PLANS & ROOF PLAN
  - A300: BUILDING ELEVATIONS
  - A400: BUILDING / SITE SECTIONS
  - A500: ENLARGED GUESTROOM PLANS
- CIVIL:**
- C101: CIVIL TITLE SHEET
  - C102: CITY GENERAL NOTES
  - C103: CIVIL GENERAL NOTES
  - C104: EROSION CONTROL PLAN
  - C105: DEMOLITION PLAN
  - C106: GRADING PLAN
  - C107: STORM DRAIN PLAN
  - C108: WATER & SEWER PLAN
  - C109: PAVING PLAN
  - C110: DETAILS
  - C111: DETAILS

- LANDSCAPE:**
- L1.01: LANDSCAPE DEVELOPMENT PLAN LEGEND & NOTES
  - L1.02: LANDSCAPE DEVELOPMENT PLAN CALCULATIONS
  - L1.03: LANDSCAPE DEVELOPMENT PLAN EXISTING LANDSCAPE IMAGES

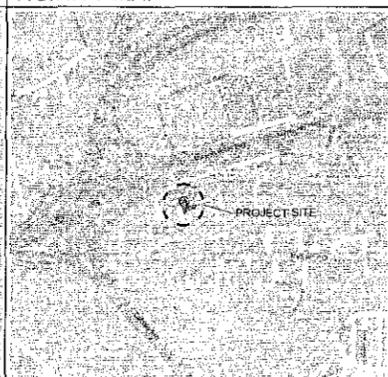
**FIRE HYDRANT LOCATION MAP**



**AREA MAP**



**VICINITY MAP**



DEVELOPMENT SUMMARY, El Torito Site, Extended Stay 118

FIR	FIR to FIR Height	King Studio		King 1-BdRm		King C 1-BdRm		QQ 1-BdRm		QQ C 1-BdRm		Lobby		Total Keys	Total Net Area (sf)	Gross Area (sf)	Percent Eff	Parking Provided			
		Keys	Area	Keys	Area	Keys	Area	Keys	Area	Public	BOH	Garage	Surface					Total			
5	9'10"	8	470	4	520	1	600	10	600	2	650			25	13,740	16,400	83.8%				
4	9'10"	8	470	4	520	1	600	10	600	2	650			25	13,740	16,400	83.8%				
3	9'10"	8	470	4	520	1	600	10	600	2	650			26	13,740	16,400	83.8%				
2	9'10"	8	470	4	520	1	600	10	600	2	650			25	13,740	16,400	83.8%				
1	13'4"	4	470	4	520	1	600	8	600	1	650	5500		18	15,510	18,400	84.3%			63	
B	11'0"												4,700	0	4,700	19,500	24.1%	37			37
		36		20		5		48		9		5,500	4,700	118	75,170	84,000	89.5%	37	63	100	
		30.5%		16.9%		4.2%		40.7%		7.6%			100.0%					37.0%	63.0%	84.7%	
																103,560	(Total Gross Area including Garage)				

1/20/2014



PROJECT

RESIDENCE INN @ MISSION VALLEY  
 SITE DEVELOPMENT PERMIT SUBMITTAL



445 CAMINO DEL RIO S.  
 SAN DIEGO, CA 92108



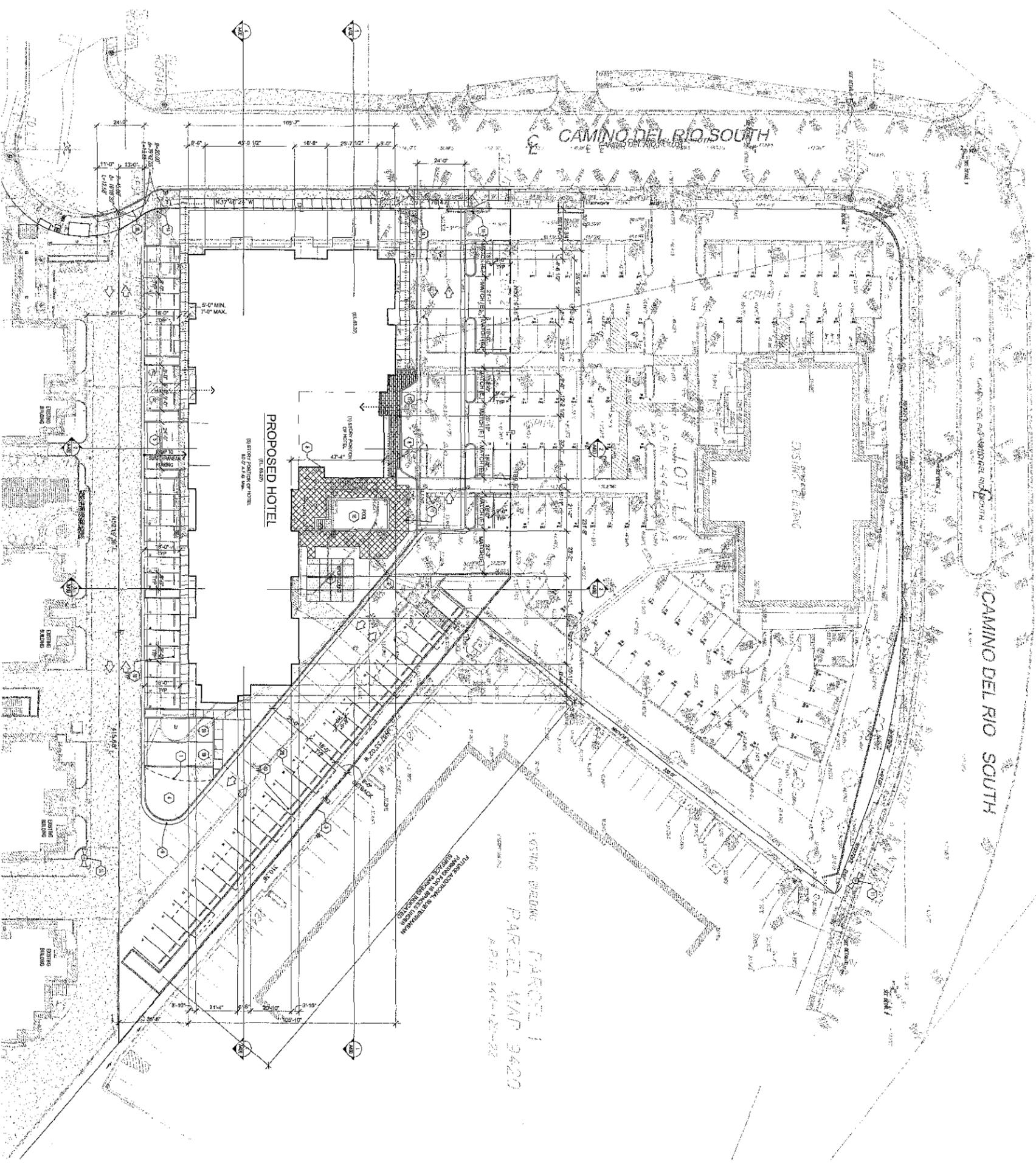
ISSUE DATES

No.	Date	Description
2013-04-17	2013-04-17	SITE DEV. PERMIT - COMPLETENESS CHECK
2013-06-12	2013-06-12	SITE DEV. PERMIT - INITIAL SUBMITTAL
2013-09-28	2013-09-28	SITE DEV. PERMIT - RESUBMITTAL
2013-10-05	2013-10-05	SITE DEV. PERMIT - RESUBMITTAL
2014-01-21	2014-01-21	SITE DEV. PERMIT - RESUBMITTAL

SHEET TITLE  
 TITLE SHEET

DRAWING I.D.:  
 Project No.: JBA 12-001  
 Date: 2014 - 01-21  
 SHEET NO.:

T100  
 SHEET 2 OF 23



- KEY NOTES:** ○
1. FIRE LANE TO MEET MINIMUM REQUIRED TURNING RADIUS.
  2. NEW RESURFACING AND CURBING TO BE DONE TO COMPLY WITH S.D.A.C. REQUIREMENTS.
  3. SITE WALL, SEE CIVIL DRAWING. LAND DISPOSITIONS AND LANDSCAPED AREA.
  4. EXISTING SIDEWALK TO BE RECONSTRUCTED TO MEET S.D.A.C. REQUIREMENTS.
  5. EXISTING SIDEWALK TO BE RECONSTRUCTED TO MEET S.D.A.C. REQUIREMENTS.
  6. EXISTING SIDEWALK TO BE RECONSTRUCTED TO MEET S.D.A.C. REQUIREMENTS.
  7. EXISTING SIDEWALK TO BE RECONSTRUCTED TO MEET S.D.A.C. REQUIREMENTS.
  8. EXISTING SIDEWALK TO BE RECONSTRUCTED TO MEET S.D.A.C. REQUIREMENTS.
  9. EXISTING SIDEWALK TO BE RECONSTRUCTED TO MEET S.D.A.C. REQUIREMENTS.
  10. EXISTING SIDEWALK TO BE RECONSTRUCTED TO MEET S.D.A.C. REQUIREMENTS.
  11. EXISTING SIDEWALK TO BE RECONSTRUCTED TO MEET S.D.A.C. REQUIREMENTS.
  12. EXISTING SIDEWALK TO BE RECONSTRUCTED TO MEET S.D.A.C. REQUIREMENTS.
  13. EXISTING SIDEWALK TO BE RECONSTRUCTED TO MEET S.D.A.C. REQUIREMENTS.
  14. EXISTING SIDEWALK TO BE RECONSTRUCTED TO MEET S.D.A.C. REQUIREMENTS.
  15. EXISTING SIDEWALK TO BE RECONSTRUCTED TO MEET S.D.A.C. REQUIREMENTS.
  16. EXISTING SIDEWALK TO BE RECONSTRUCTED TO MEET S.D.A.C. REQUIREMENTS.
  17. EXISTING SIDEWALK TO BE RECONSTRUCTED TO MEET S.D.A.C. REQUIREMENTS.
  18. EXISTING SIDEWALK TO BE RECONSTRUCTED TO MEET S.D.A.C. REQUIREMENTS.
  19. EXISTING SIDEWALK TO BE RECONSTRUCTED TO MEET S.D.A.C. REQUIREMENTS.
  20. EXISTING SIDEWALK TO BE RECONSTRUCTED TO MEET S.D.A.C. REQUIREMENTS.

- GENERAL NOTES:**
- A. ALL NEW WORK SHALL BE IN ACCORDANCE WITH S.D.A.C. CODES.
  - B. ALL NEW WORK SHALL BE IN ACCORDANCE WITH S.D.A.C. CODES.
  - C. ALL NEW WORK SHALL BE IN ACCORDANCE WITH S.D.A.C. CODES.
  - D. ALL NEW WORK SHALL BE IN ACCORDANCE WITH S.D.A.C. CODES.
  - E. ALL NEW WORK SHALL BE IN ACCORDANCE WITH S.D.A.C. CODES.
  - F. ALL NEW WORK SHALL BE IN ACCORDANCE WITH S.D.A.C. CODES.
  - G. ALL NEW WORK SHALL BE IN ACCORDANCE WITH S.D.A.C. CODES.
  - H. ALL NEW WORK SHALL BE IN ACCORDANCE WITH S.D.A.C. CODES.
  - I. ALL NEW WORK SHALL BE IN ACCORDANCE WITH S.D.A.C. CODES.
  - J. ALL NEW WORK SHALL BE IN ACCORDANCE WITH S.D.A.C. CODES.
  - K. ALL NEW WORK SHALL BE IN ACCORDANCE WITH S.D.A.C. CODES.
  - L. ALL NEW WORK SHALL BE IN ACCORDANCE WITH S.D.A.C. CODES.
  - M. ALL NEW WORK SHALL BE IN ACCORDANCE WITH S.D.A.C. CODES.

**LEGEND:**

..... ACCESSIBLE PATH OF TRAVEL

No.	Date	Description
1	01/14/14	ISSUE PERMIT
2	01/14/14	ISSUE PERMIT
3	01/14/14	ISSUE PERMIT
4	01/14/14	ISSUE PERMIT
5	01/14/14	ISSUE PERMIT
6	01/14/14	ISSUE PERMIT
7	01/14/14	ISSUE PERMIT
8	01/14/14	ISSUE PERMIT
9	01/14/14	ISSUE PERMIT
10	01/14/14	ISSUE PERMIT
11	01/14/14	ISSUE PERMIT
12	01/14/14	ISSUE PERMIT
13	01/14/14	ISSUE PERMIT
14	01/14/14	ISSUE PERMIT
15	01/14/14	ISSUE PERMIT
16	01/14/14	ISSUE PERMIT
17	01/14/14	ISSUE PERMIT
18	01/14/14	ISSUE PERMIT
19	01/14/14	ISSUE PERMIT
20	01/14/14	ISSUE PERMIT



**PROJECT**

RESIDENCE INN  
@ MISSION VALLEY

SITE DEVELOPMENT PERMIT SUBMITTAL



448 CAMINO DEL RIO S  
SAN DIEGO, CA 92108



**DEVELOPMENT**

No.	Date	Description
1	01/14/14	ISSUE PERMIT
2	01/14/14	ISSUE PERMIT
3	01/14/14	ISSUE PERMIT
4	01/14/14	ISSUE PERMIT
5	01/14/14	ISSUE PERMIT
6	01/14/14	ISSUE PERMIT
7	01/14/14	ISSUE PERMIT
8	01/14/14	ISSUE PERMIT
9	01/14/14	ISSUE PERMIT
10	01/14/14	ISSUE PERMIT
11	01/14/14	ISSUE PERMIT
12	01/14/14	ISSUE PERMIT
13	01/14/14	ISSUE PERMIT
14	01/14/14	ISSUE PERMIT
15	01/14/14	ISSUE PERMIT
16	01/14/14	ISSUE PERMIT
17	01/14/14	ISSUE PERMIT
18	01/14/14	ISSUE PERMIT
19	01/14/14	ISSUE PERMIT
20	01/14/14	ISSUE PERMIT

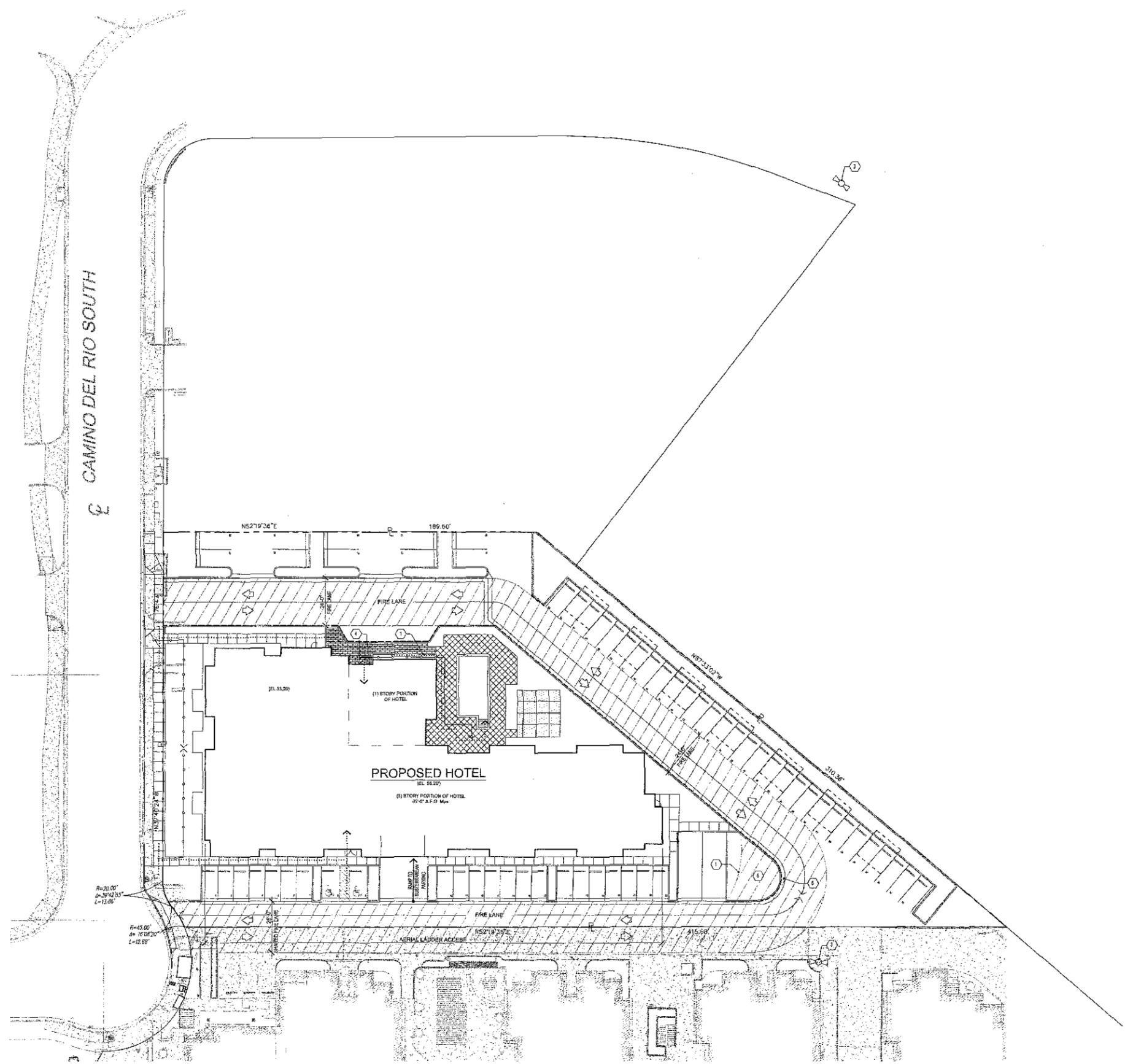
**LEGEND:**

..... ACCESSIBLE PATH OF TRAVEL

**SHEET TITLE**  
ARCHITECTURAL  
SITE PLAN

**DRAWING I.D.**  
Project No.: JBA 12-001  
Date: 2014-01-21  
SHEET NO.:  
**A100**

SHEET 3 OF 25

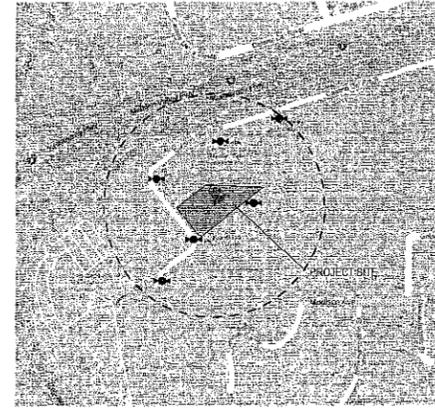


1 FIRE ACCESS PLAN

KEY NOTES:

1. FIRE LANE TO MEET MINIMUM REQUIRED TURNING RADIUS.
2. KEYED SECURE GATE: PROVIDE FIRE DEPT. KNOX BOX W/ CARD READER.
3. LOCATION OF EXISTING FIRE HYDRANT.
4. PROVIDE FIRE DEPT. KNOX BOX AT MAIN ENTRY. EXACT LOCATION PER FIRE DEPT. APPROVAL.
5. USE GRASS-CRETE WHERE FIRE LANE ENDOUCHES INTO LANDSCAPED AREA.
6. PROVIDE ROLLED CURB WHERE FIRE LANE TURNING RADIUS ENDOUCHES INTO LANDSCAPE AREA.

FIRE HYDRANT LOCATION MAP



GENERAL NOTES:

- A. ALL NEW VISIBLE 'RESIDENCE INN' SIGNAGE TO COMPLY WITH S.D.M.C. SIGN REGULATIONS. DEFERRED SUBMITTAL.
- B. SIGNAGE REQUIRED OFF-STREET LOADING SPACE SHALL HAVE A MINIMUM CLEARANCE OF 14'-0" INCLUDING ENTRANCES & EXITS. ALL OFF-STREET LOADING AREAS SHALL BE RESEDED FROM THE PUBLIC RIGHT-OF-WAY OR TREATED WITH LANDSCAPE HARDSCAPE, OR STRUCTURAL ELEMENTS DESIGNED TO CREATE A VISUAL AMENITY. (1) LOADING SPACE REQUIRED FOR THIS SITE DEVELOPMENT (TO BE VERIFIED).
- C. THERE IS NO EXISTING BUS STOP AT THIS PROPERTY.
- D. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE & LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER F.P.S. POLICY P-20-6 (L.F.C. 901.4.4).
- E. REFER TO CIVIL DRAWINGS FOR DRAINAGE PATTERNS.
- F. POST INDICATOR VALVES, FIRE DEPT. CONNECTIONS, AND ALARM BELLS ARE TO BE LOCATED ON THE ADDRESS / ACCESS SIDE.
- G. PROVIDE FIRE ACCESS ROADWAY SIGNS OR RED CURBS IN ACCORDANCE WITH F.P.S. POLICY P-20-1.
- H. ALL FENCES & RETAINING WALLS SHALL COMPLY WITH THE S.D.M.C., SEC. 142.0301.
- I. PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER / PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION 'BEST MANAGEMENT PRACTICES' NECESSARY TO COMPLY WITH CHAPTER 14, ART. 3, DIV. 1 (ROADWAY REGULATIONS) OF THE S.D.M.C. INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- J. NOT USED.
- K. ALL LIGHTING SHALL BE DIRECTED AWAY FROM THE MHPA & SHIELDED AS NECESSARY.
- L. MOTORCYCLE PARKING SPACES TO BE LOCATED IN SUBTERRANEAN PARKING GARAGE PER LDC, SEC. 142.0330g).
- M. LOCATION OF REFUSE AREA / RECYCLABLE AREA TO BE LOCATED IN SUBTERRANEAN PARKING GARAGE PER C.D.C., SEC. 145.0911.

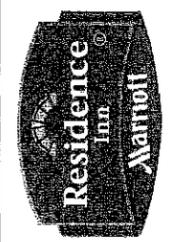
LEGEND:

- ..... ACCESSIBLE PATH OF TRAVEL
- FIRE DEPT. HOSE PULL, MIN. 200' LENGTH FOR SPRINKLERED BUILDING
- RED CURB
- ▨ FIRE LANE



PROJECT

**RESIDENCE INN  
@ MISSION VALLEY**  
SITE DEVELOPMENT PERMIT SUBMITTAL



445 CAMINO DEL RIO S.  
SAN DIEGO, CA 92108



DEVELOPMENT

ISSUE DATES

No.	Date	Description
	2014-04-01	SITE DEV. PERMIT - COMPLETENESS CHECK
	2013-05-15	SITE DEV. PERMIT - INITIAL SUBMITTAL
	2013-09-20	SITE DEV. PERMIT - RESUBMITTAL
	2013-12-06	SITE DEV. PERMIT - RESUBMITTAL
	2014-01-21	SITE DEV. PERMIT - RESUBMITTAL

ALL S.D.M.C. CONCEPT PLANS AND APPROVALS MUST BE REFERRED TO THE S.D.M.C. AND THE PROPERTY OF JONES | BALLARD ARCHITECTS AND ANY CHANGES TO THE S.D.M.C. CONCEPT PLANS SHALL BE MADE IN ACCORDANCE WITH THE S.D.M.C. CONCEPT OF CONCEPT DEVELOPMENT.

SHEET TITLE  
**FIRE ACCESS PLAN**

DRAWING I.D.:  
Project No.: JBA 12-001  
Date: 2014-01-21  
SHEET NO.:

**A101**  
SHEET 4 OF 23



PROJECT:

**RESIDENCE INN  
@ MISSION VALLEY**  
SITE DEVELOPMENT PERMIT SUBMITTAL



445 CAMINO DEL RIO S  
SAN DIEGO, CA 92108



ISSUE DATES:

No.	Date	Description
1	2014-01-14	SITE DEV PERMIT - COMPLETENESS CHECK
2	2014-01-15	SITE DEV PERMIT - RE SUBMITTAL
3	2014-01-21	SITE DEV PERMIT - RE SUBMITTAL
4	2014-01-21	SITE DEV PERMIT - RE SUBMITTAL
5	2014-01-21	SITE DEV PERMIT - RE SUBMITTAL

SHEET TITLE:

**BUILDING PLANS**

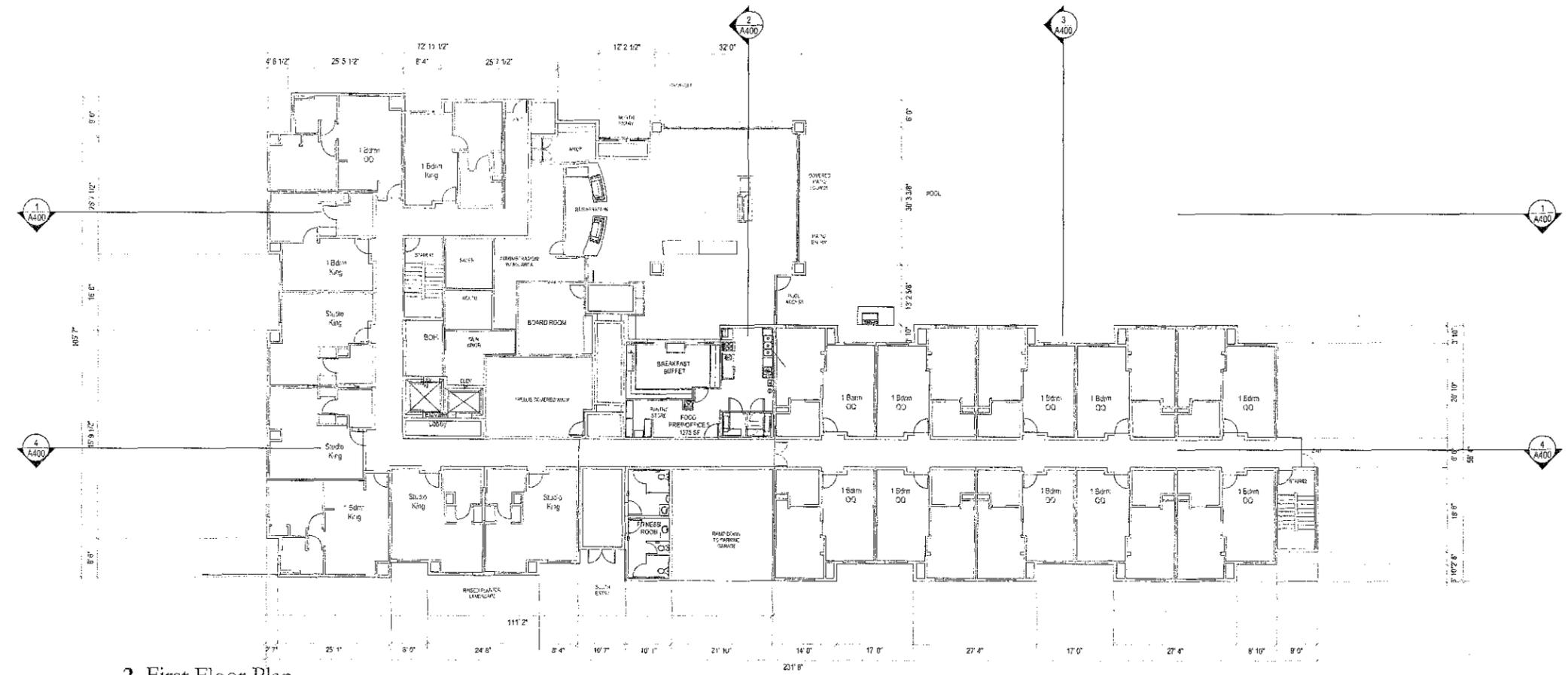
DRAWING I.D.:

Project No.: JBA 13-001

Date: 2014 - 01-21

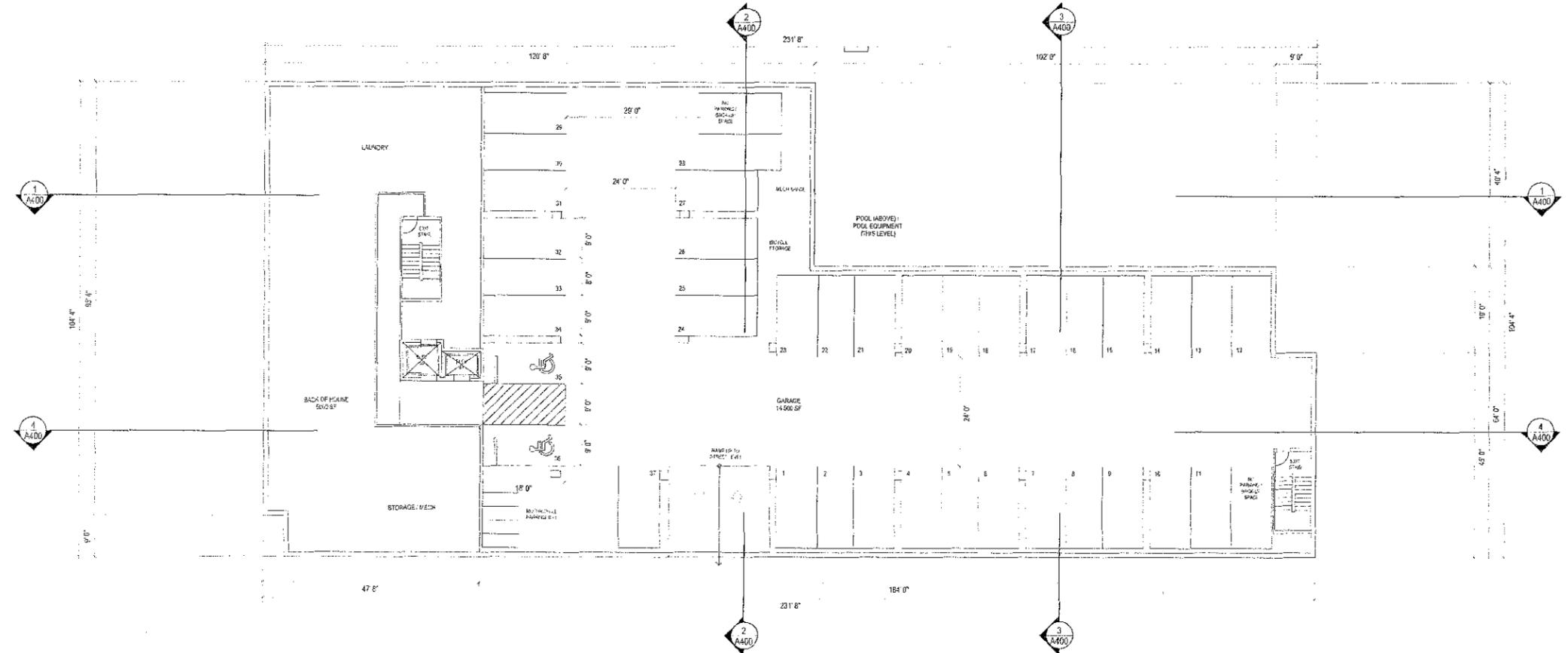
SHEET NO.:

**A200**  
SHEET 5 OF 23



2 First Floor Plan

3/32" = 1'-0"



1 Basement Plan

3/32" = 1'-0"





PROJECT:

RESIDENCE INN @ MISSION VALLEY  
SITE DEVELOPMENT PERMIT SUBMITTAL



445 CAMINO DEL RIO S.  
SAN DIEGO, CA 92108



ISSUE DATES:

No.	Date	Description
0012-04-17	0012-04-17	SITE DEV. PERMIT - COMPLETION CHECK
0013-06-11	0013-06-11	SITE DEV. PERMIT - INITIAL SUBMITTAL
0013-09-09	0013-09-09	SITE DEV. PERMIT - RESUBMITTAL
0013-12-16	0013-12-16	SITE DEV. PERMIT - RESUBMITTAL
0014-01-13	0014-01-13	SITE DEV. PERMIT - RESUBMITTAL

ALL DESIGNATIONS, TRADE AND MATERIALS TO BE DETERMINED BY THE CONTRACTOR AND APPROVED BY THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.

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SHEET TITLE:  
BUILDING PLANS

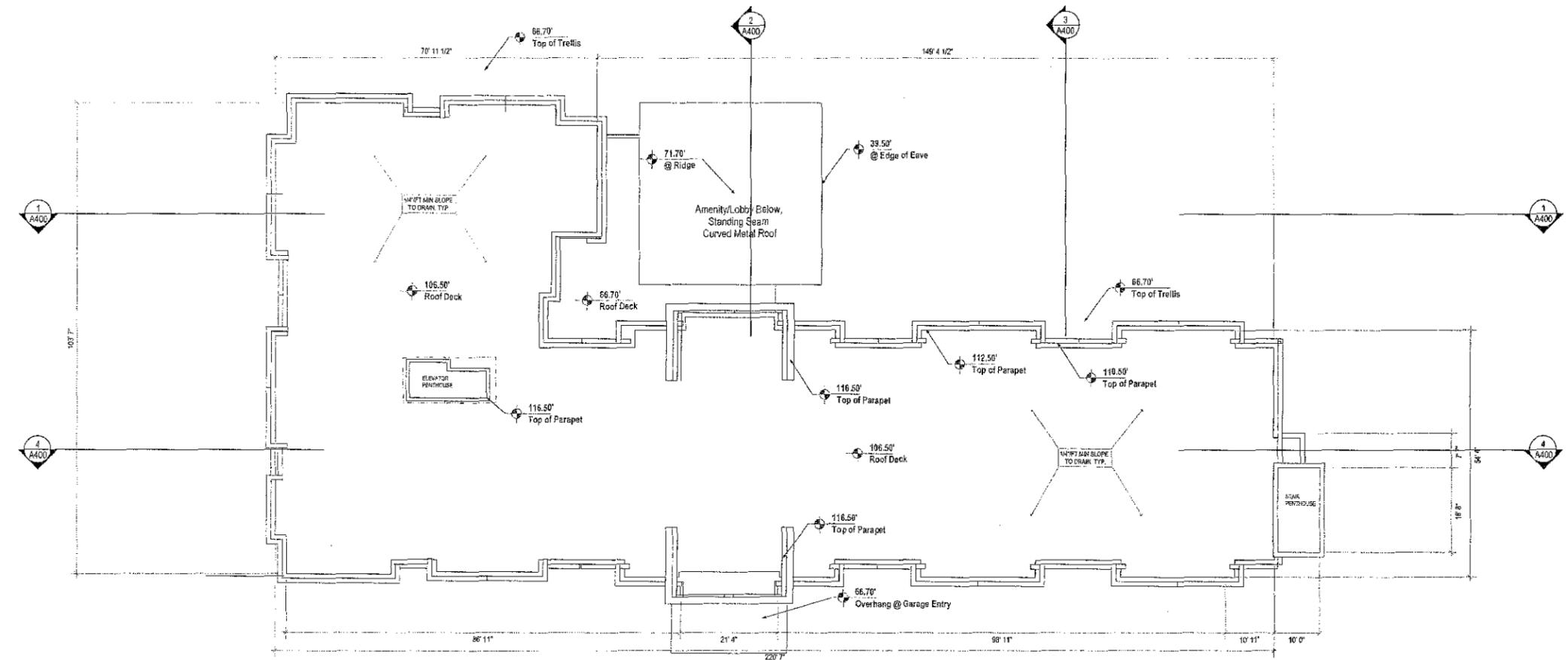
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Project No.: JBA 13-001

Date: 2014 - 01-21

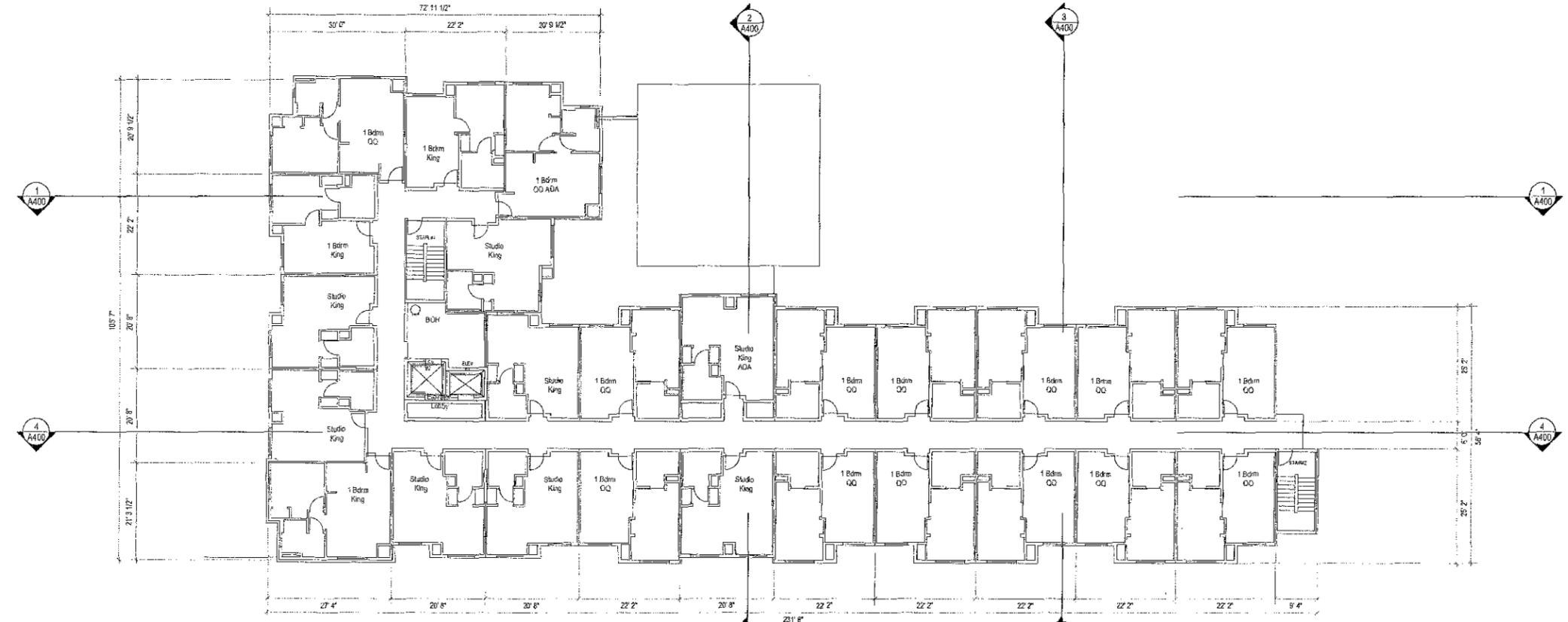
SHEET NO.:

A201  
SHEET 6 OF 23



2 Roof Plan

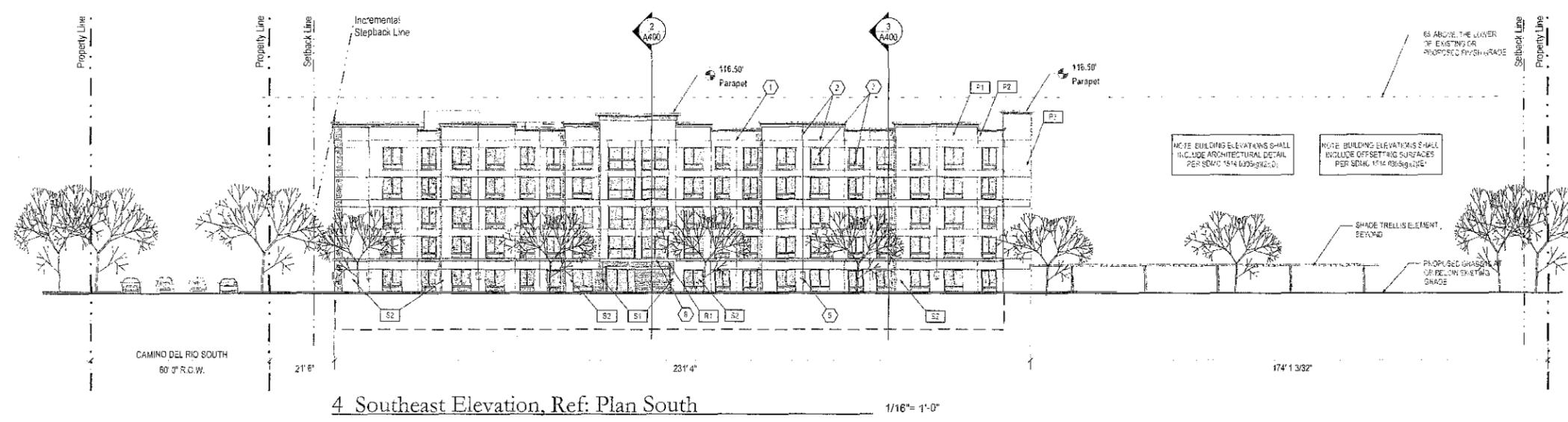
3/32" = 1'-0"



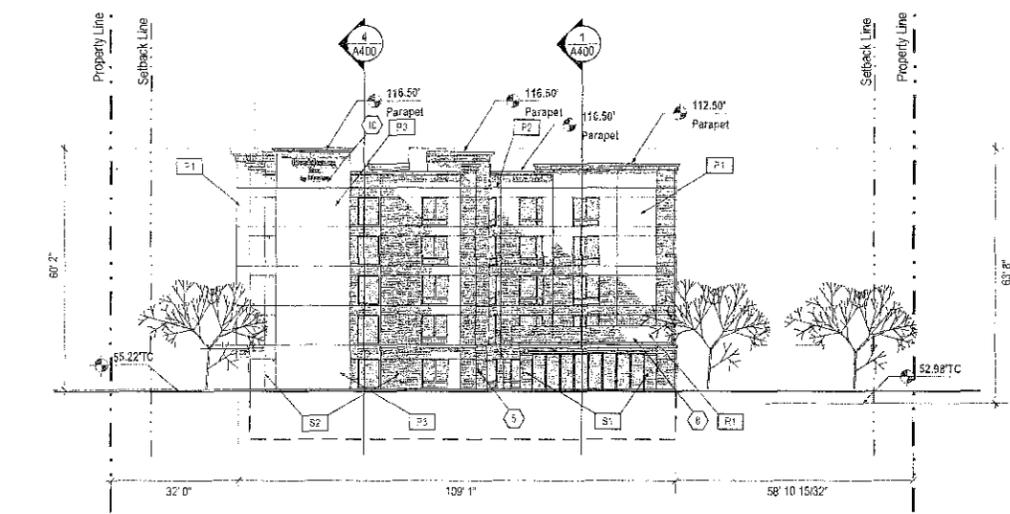
1 Second Thru Fifth Floor Plans

3/32" = 1'-0"

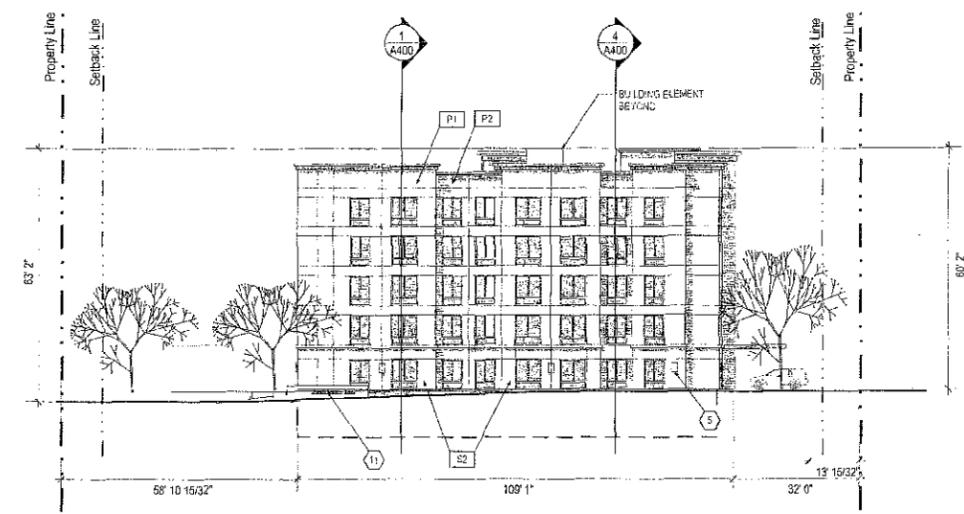




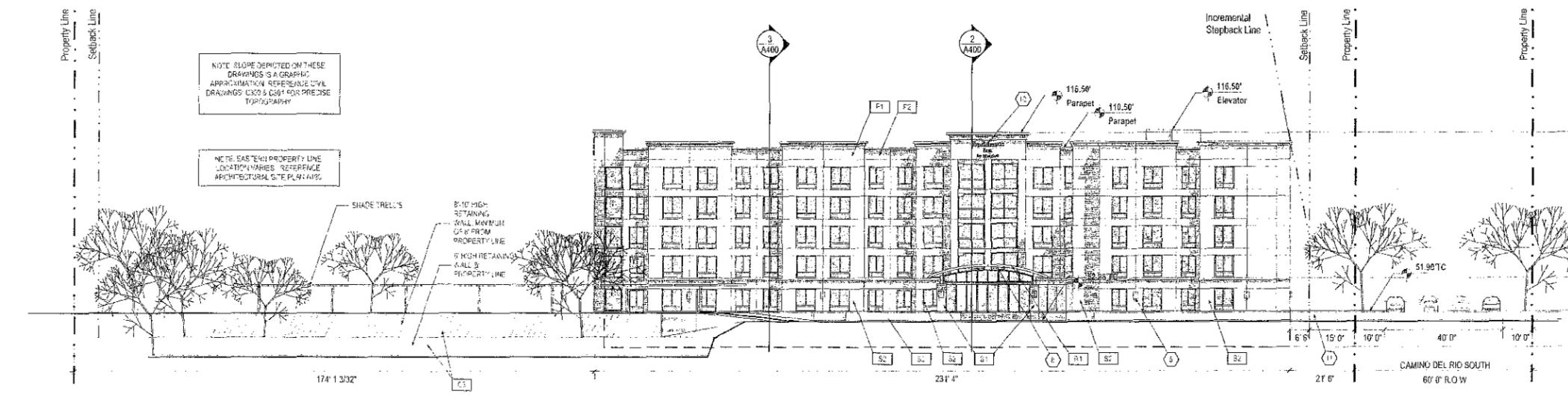
4 Southeast Elevation, Ref: Plan South



3 Northeast Elevation, Ref Plan East



2 Southwest Elevation, Ref Plan West



1 Northwest Elevation, Ref: Plan North

GENERAL NOTES:

1. MINIMUM 15'-0" STREET YARD BUILDING SETBACK
2. MINIMUM STREET YARD FACTOR: 20
3. MINIMUM 15'-0" SIDE PROPERTY BUILDING SETBACK, U.N.C.
4. MINIMUM 7'-0" REAR PROPERTY BUILDING SETBACK, U.N.C.

KEY NOTES:

1. ROOF SCUPPER
2. CONTROL JOINT
3. PREFINISHED ALUMINUM WINDOWS AND DOUVERS
4. PREFINISHED METAL LOUVERS AT DRYER VENTS
5. EXTERIOR WALL SCONCE
6. ALUMINUM DOOR/WINDOW AND FRAME
7. INSULATED HOLLOW METAL DOOR AND FRAME
8. ENTRANCE GANTRY
9. METAL RAILING
10. INTERNALLY-ILLUMINATED BUILDING SIGNAGE
11. REMOTE ILLUMINATED MONUMENT SIGNAGE
12. METAL TRELLIS ON PRECAST CONCRETE COLUMNS

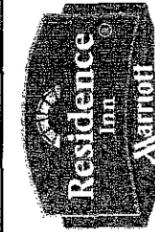
FINISH NOTES:

- P1 CEMENT PLASTER: COLOR - FRAZEE EQUATOR, CL2854M
- P2 CEMENT PLASTER: COLOR - FRAZEE LATTE, CL2855A
- P3 CEMENT PLASTER: COLOR - TBD
- M1 ALUMINUM FRAMED WINDOWS, COLOR - BRONZE
- M2 PREFINISHED METAL: COLOR - MEDIUM BRONZE
- M3 PREFINISHED METAL: COLOR - SAGE OR SIMILAR
- S1 STONE TILE: NATURAL LIMESTONE, COLOR - INCA GOLDY / AURA GREY
- S2 MANUFACTURED STONE TILE: MONTECITO CLIFFSTONE, MANUFACTURED BY EL DORADO
- S3 STONE TILE: COLOR - RUSTIC GOLD SLATE
- W1 WOOD ACCENT: COLOR - TBD
- W2 WOOD SITE FURNITURE: COLOR - PE NATURAL
- C1 CONCRETE: COLOR - NATURAL WHITE
- C2 CONCRETE BLOCK: COLOR - NATURAL GREY
- C3 CONCRETE BLOCK: COLOR - SPLIT-FACE DARK GREY
- R1 STANDING SEAM METAL ROOF: COLOR - COPPER

No.	Date	Description
001	01.21.14	SITE DEV. PERMIT
002	02.11.14	CONTRACT SIGNATURE
003	03.11.14	FINAL PERMIT
004	04.11.14	CONTRACT SIGNATURE
005	05.11.14	SITE DEV. PERMIT
006	06.11.14	CONTRACT SIGNATURE
007	07.11.14	SITE DEV. PERMIT
008	08.11.14	CONTRACT SIGNATURE

Level	Elevation
Top Plate	106.03'
Level 5 F.F.	86.20'
Level 4 F.F.	86.37'
Level 3 F.F.	78.53'
Level 2 F.F.	66.79'
Level 1 F.F.	55.20'
Level B F.F.	43.20'

RESIDENCE INN @ MISSION VALLEY



445 CAMINO DEL RIO SAN DIEGO, CA 9210



ISSUE DATES:

No.	Date	Description
001	01.21.14	SITE DEV. PERMIT
002	02.11.14	CONTRACT SIGNATURE
003	03.11.14	FINAL PERMIT
004	04.11.14	CONTRACT SIGNATURE
005	05.11.14	SITE DEV. PERMIT
006	06.11.14	CONTRACT SIGNATURE
007	07.11.14	SITE DEV. PERMIT
008	08.11.14	CONTRACT SIGNATURE

SHEET TITLE: BUILDING ELEVATIONS

DRAWING I.D.: Project No.: JBA 13-001 Date: 2014 - 01.21 SHEET NO.:

A300 SHEET 7 OF 23

ATTACHMENT 6



PROJECT:

**RESIDENCE INN  
@ MISSION VALLEY**  
SITE DEVELOPMENT PERMIT SUBMITTAL



445 CAMINO DEL RIO S.  
SAN DIEGO, CA 92108



DEVELOPMENT

ISSUE DATES:

No.	Date	Description
2013-01-11		SITE DEV PERMIT - CLEARANCE CHECK
2013-02-01		SITE DEV PERMIT - INITIAL SUBMITTAL
2013-02-01		SITE DEV PERMIT - RESUBMITTAL
2014-01-21		SITE DEV PERMIT - RESUBMITTAL
2014-01-21		SITE DEV PERMIT - RESUBMITTAL
2014-01-21		SITE DEV PERMIT - RESUBMITTAL

ALL OTHERS: CONTACT JBA AND CONSTRUCTION SERVICES TO OBTAIN THE LATEST REVISIONS TO THIS DRAWING. THESE REVISIONS WILL BE SHOWN IN RED. ANY CHANGES TO THIS DRAWING WILL BE SHOWN IN RED. ANY CHANGES TO THIS DRAWING WILL BE SHOWN IN RED.

SHEET TITLE:

BUILDING SECTIONS

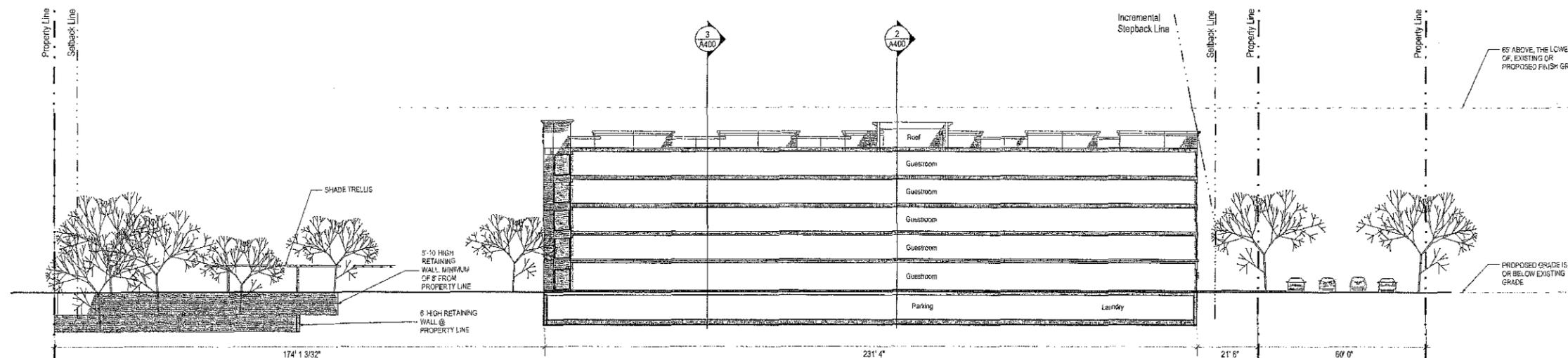
DRAWING I.D.:

Project No.: JBA 13-001

Date: 2014-01-21

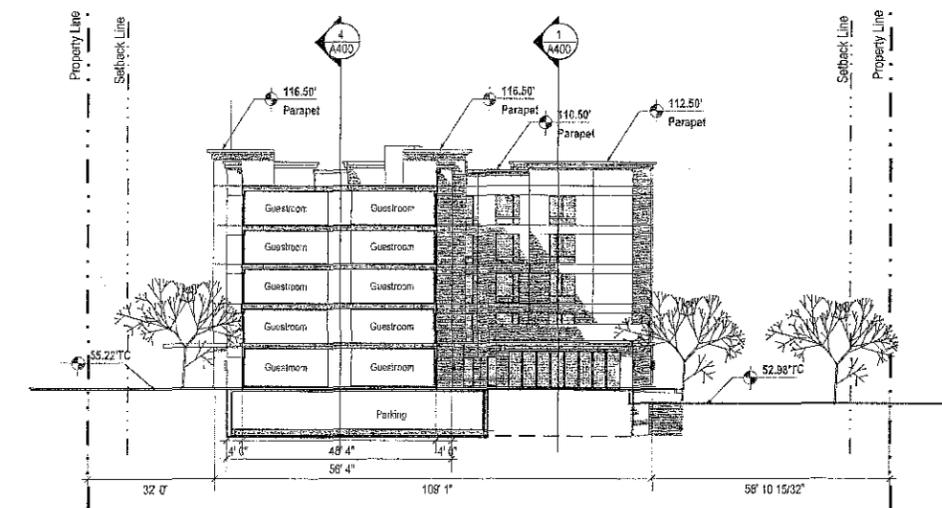
SHEET NO.:

**A400**  
SHEET 8 OF 23



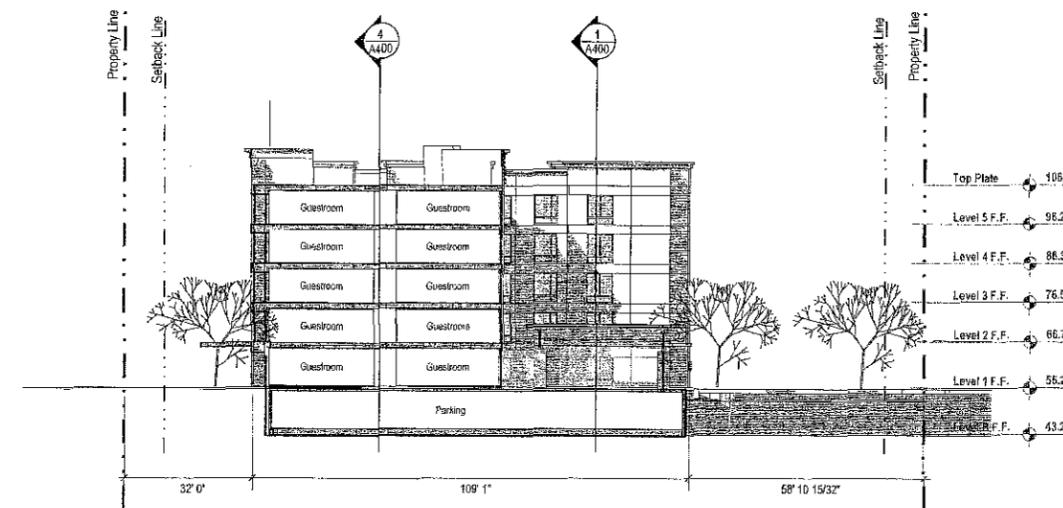
4 Northwest Section View, Ref: Plan North

1/16" = 1'-0"



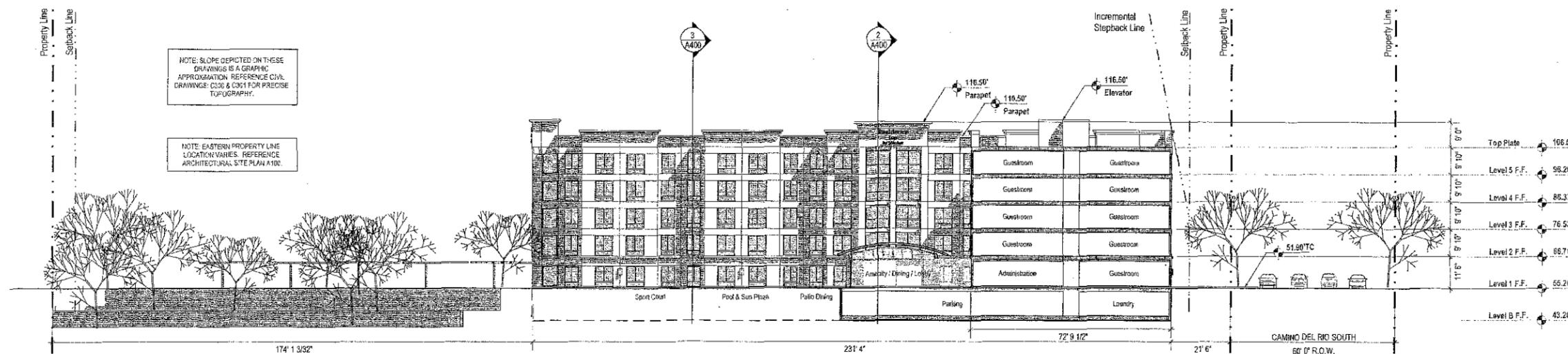
3 Northeast Section View, Ref Plan East

1/16" = 1'-0"



2 Northeast Section View, Ref Plan East

1/16" = 1'-0"



1 Northwest Section View, Ref: Plan North

1/16" = 1'-0"



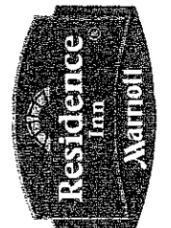
**GENERAL NOTES:**

A. ENLARGED FLOOR PLANS ARE PROTOTYPICAL AND REPRESENTATIVE OF STANDARD LAYOUTS. ROOMS ARE TO BE MODIFIED TO BEST FIT BUILDING LAYOUT AND TO MEET CURRENT CALIFORNIA BUILDING CODE STANDARDS ANY REQUIREMENTS.



PROJECT

**RESIDENCE INN  
@ MISSION VALLEY**  
SITE DEVELOPMENT PERMIT SUBMITTAL



445 CAMINO DEL RIO S.  
SAN DIEGO, CA 92108



DEVELOPMENT

ISSUE DATES

No.	Date	Description
0813-04-11		SITE DEV. PERMIT - COMPLETENESS CHECK
2013-05-17		SITE DEV. PERMIT - INITIAL SUBMITTAL
0716-05-18		SITE DEV. PERMIT - RESUBMITTAL
2015-12-23		SITE DEV. PERMIT - RESUBMITTAL
2014-01-23		SITE DEV. PERMIT - RESUBMITTAL

ALL DESIGN, CONSTRUCTION AND MANAGERIAL TO BE COMPLETED BY THE DATE OF THE PERMIT. THE DESIGNER SHALL BE RESPONSIBLE FOR THE PROJECT'S COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND ORDINANCES. THE DESIGNER SHALL BE RESPONSIBLE FOR THE PROJECT'S COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND ORDINANCES.

SHEET TITLE

ENLARGED  
GUESTROOM  
PLANS

DRAWING I.D.:

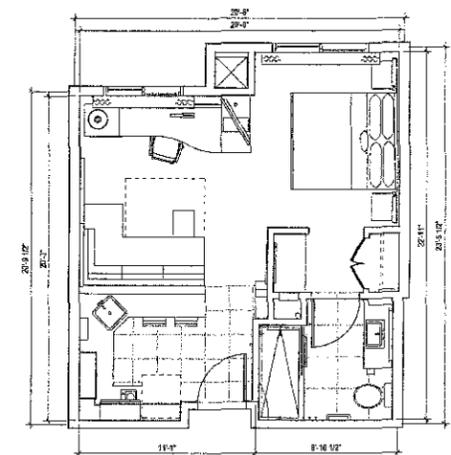
Project No.: JBA 12-001

Date: 2014 - 01.21

SHEET NO.:

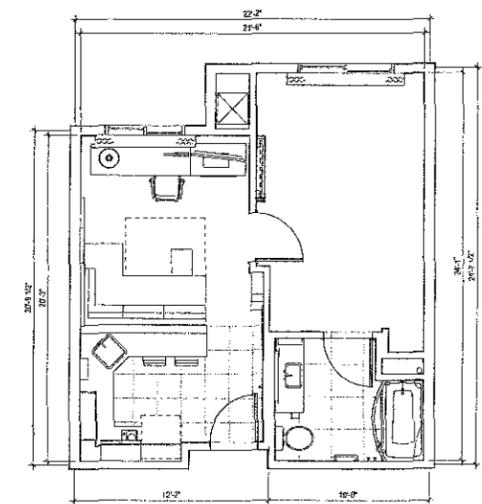
**A500**

SHEET 1 OF 23



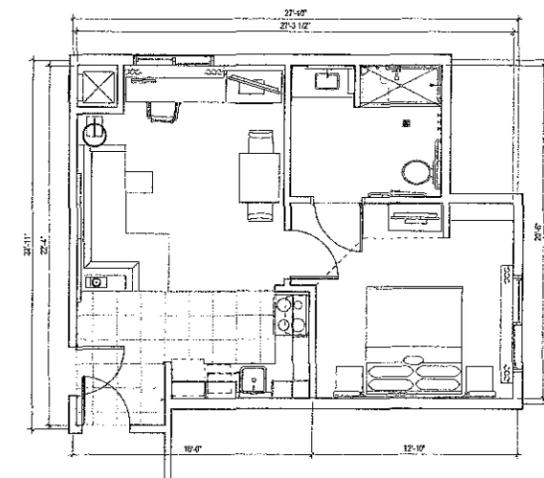
5 TYP. STUDIO KING

1/4" = 1'-0"



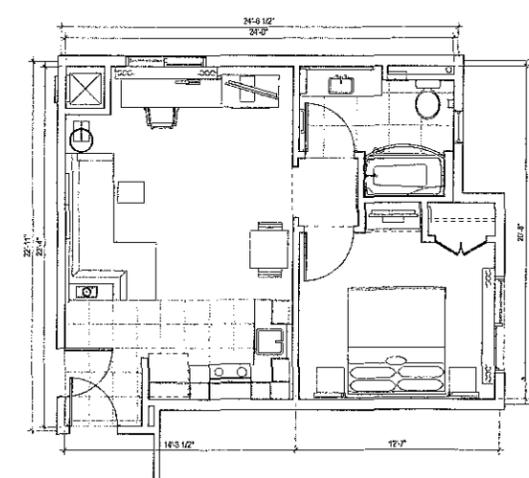
1 TYP. DBL. QUEEN

1/4" = 1'-0"



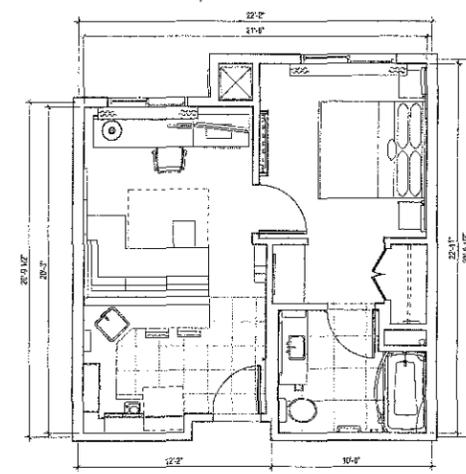
2 TYP. DBL. QUEEN CORNER

1/4" = 1'-0"



3 TYP. KING CORNER

1/4" = 1'-0"



4 TYP. KING

1/4" = 1'-0"



718 J STREET, SUITE 300  
SAN DIEGO, CALIFORNIA 92101  
619.222.4747 | 619.222.4310

**RESIDENCE INN @ MISSION VALLEY**  
SITE DEVELOPMENT PERMIT SUBMITTAL



445 CAMINO DEL RIO S  
SAN DIEGO, CA 92108



**ISSUE DATES**

No.	Date	Description
2013-04-17	2013-04-17	SITE DEV. PERMIT - COMPLETENESS CHECK
2013-03-17	2013-03-17	SITE DEV. PERMIT - INITIAL SUBMITTAL
2013-02-20	2013-02-20	SITE DEV. PERMIT - RESUBMITTAL
2013-12-20	2013-12-20	SITE DEV. PERMIT - RESUBMITTAL
2014-01-21	2014-01-21	SITE DEV. PERMIT - RESUBMITTAL

SHEET TITLE  
**LANDSCAPE DEVELOPMENT PLAN LEGEND & NOTES**

DRAWING I.D.:  
Project No.:  
Date: 2014-01-21  
SHEET NO.:

**L1.01**

SHEET 21 OF 23

**PLANT MATERIAL LEGEND**

SYMBOL	BOTANICAL NAME / COMMON NAME	PERCENTAGE / SIZE	MATURE HEIGHT / SPREAD	QTY
	LARGE-SCALE CANOPY TREE, SUCH AS PLATANUS RAEMOSA - CALIFORNIA SYCAMORE TRILIPTERA - 'TRU' TREE CHORISIA SPECIOSA - FLOSS SILK TREE	100% / 48" BOX	40/40'	8
	LARGE-SCALE ACCENT TREE, SUCH AS PINUS PINA - ITALIAN STONE PINE PINUS TORREYANA - TORREY PINE CHORISIA SPECIOSA - FLOSS SILK TREE	100% / 36" BOX	40/40'	2
	FLOWERING ACCENT TREE, SUCH AS: BAUHINIA BLAKEANA - HONG KONG ORCHID TREE JACARANDA MINOSFOLIA - JACARANDA TABESUA IMPETIGINOSA - PINK TRUMPET TREE	100% / 28" BOX	25/22' 35-40/25-40' 25-30/25-30'	4
	SMALL-SCALE ACCENT TREE, SUCH AS LAGERSTRÖMIA SPECIOSA - GREPE MYRTLE CERDIS OCCIDENTALIS - WESTERN REDBUD	100% / 36" BOX	15-20/15	25
	SMALL-SCALE VERTICAL ACCENT TREE, SUCH AS: CUPRESSUS SEMPERVIRENS - ITALIAN CYPRESS STRELTZIA NICKOLAI - GRANT BIRD OF PARADISE CORDYLINE SPECIES	45% / 24" BOX 55% / 36" BOX	20/4' 25/4' 15/12'	5 5
	ACCENT PALM, SUCH AS: PHOENIX DACTYLIFERA 'MEDJOL' - 'MEDJOL' DATE PALM	100% / 20" BTH	80/30'	5
	FAN PALM, SUCH AS: WASHINGTONIA FILIFERA - CALIFORNIA FAN PALM	100% / 12" BTH	50-50/12'	12
S.T.	STREET TREE: PLANT SPECIES SHALL BE PER SYMBOL SHOWN ON THE PLAN	100% / 48" BOX	J/J'	5
	EXISTING) EUCALYPTUS CITRIODORA - LEMON SCENTED GUM TREE			
	EXISTING) PINUS CANARIENSIS - CANARY ISLAND PINE			
	EXISTING) PLATANUS ACERIFOLIA - LONDON PLANE TREE			

SYMBOL	BOTANICAL NAME / COMMON NAME	PERCENTAGE / SIZE	MATURE HEIGHT / SPREAD	QTY
	MEDIUM-SCALE SHRUB, SUCH AS PHORADENDRUM HYBRIDUM - DWARF BOTTLEBRUSH CALLISTEMON LITTLE JOHN - DWARF BOTTLEBRUSH GREVILLEA NOELI - NCN LEPTOSPERMUM SCOPARIUM - TEA TREE CHONDRORETALA TECTORUM - SMALL CAPE RUSH CORDYLINE AUSTRALIS - RED SENSATION	150% / 16 GAL. 150% / 5 GAL.	3-5/3-5' 3-5/3-5' 6/6' 5/5' 3-5/3-5' 3-5/3-5'	35 35
	SMALL-SCALE SHRUB, SUCH AS: ANIGDAZANTHOS HYBRIDUS - KANGAROO PAW PHORADENDRUM HYBRIDUM - DWARF BOTTLEBRUSH BUXUS JAPONICA 'WINTER GEM' - BOXWOOD LAVENDULA 'HIDCOTE' - HIDCOTE LAVENDER RHAPHIOLEPIS UMBELLATA 'MINOR' - DWARF YEEDO HAWTHORN SALVIA CHAMAEDRYOIDES - ELECTRIC BLUE SAGE	100% / 5 GAL.	3/3' 3/3' 3/3' 2/2' 4/4' 2/4'	300
	SMALL SUCCULENT, SUCH AS: AGAVE BLUE GLOW - BLUE GLOW AGAVE AGAVE ATTENUATA - FOXTAIL AGAVE ALOE LITTLE GEM - LITTLE GEM ALOE ALOE DAWEI - ORANGE FLAME ALOE	100% / 1 GAL.	2/2' 3/2' 1/1/2'	148
	DROUGHT TOLERANT SLOPE SHRUB, SUCH AS GREVILLEA NOELI - NCN CALLISTEMON LITTLE JOHN - DWARF BOTTLEBRUSH IVA HAYESIANA - SAN DIEGO MARSH ELDER	100% / 1 GAL.	6/6' 3-5/3-5' 1/2'	35

SYMBOL	BOTANICAL NAME / COMMON NAME	PERCENTAGE / SIZE	MATURE HEIGHT / SPREAD	QTY
	TRAILING EVERGREEN GROUND COVER, SUCH AS ROSMARINUS OFFICINALIS HUNTINGTON CARPET BOUGHNVILLEA GO-LA-LA - GO-LA-LA BOUGHNVILLEA	100% / 1 GAL.	VARIABLE	22
	WALL CLIMBING VINE, SUCH AS: HARENBERGIA NOLAJEAE 'HAPPY WANDERER' FARTHENOICISBUS TRICUSPIDATA - BOSTON NY DISTICTUS BUCCINATORIA - RED BLOOD TRUMPET	100% / 5 GAL. ESPALIER	VARIABLE	22
	GROUND COVER, SUCH AS CAREX PANSA - BERKELEY SEDGE JUNCUS PATENS - CALIFORNIA GRAY RUSH FESTUCA PARENII - ATLAS PEEGEE	100% / 1 GAL.	VARIABLE	

**DESIGN STATEMENT:**

THE LANDSCAPE CONCEPT FOR THE RESIDENCE INN MARRIOTT IS INFLUENCED BY THE STYLE OF THE ADJACENT COMMUNITY AND COMPLEMENTS THE ARCHITECTURAL STYLE OF THE BUILDINGS. THE ARRANGEMENT OF HARDSCAPE AND PLANTINGS PROMOTES MOVEMENT THROUGH THE SITE. STREET TREES AND STREET YARD PLANTINGS VISUALLY TIE INTO THE ADJACENT COMMUNITY AND PROVIDE A UNIFIED STREETSCAPE. ORNAMENTAL VEGETATION HAS BEEN SELECTED WITH CONSIDERATION OF DROUGHT TOLERANCE, EASE OF MAINTENANCE, STRUCTURE, FLOWER AND FOLIAGE. A RESTRICTED PALETTE OF PLANT MATERIAL SHALL MAINTAIN THE COHESIVE THEME OF THE LANDSCAPE DESIGN. THE LANDSCAPE STYLE SHALL MAINTAIN CONSISTENCY TO AVOID COMPLEX PLANT MIXTURES AND VISUAL CONFUSION. THE PARKING LOT WILL BE SHARED BY MULTIPLE BUSINESSES, AND WILL BE SCREENED WITH BOTH LANDSCAPING AND BERMS. LANDSCAPED AREAS WILL INCLUDE A MIXTURE OF PLANT MATERIAL AND DECORATIVE PAVEMENT IN ORDER TO PROVIDE A MINIMUM OF 10% LANDSCAPING. THE PLANT MATERIAL IN THE PARKING LOT WILL CONSIST OF ROUND HEADED SHADE TREES AND LONG LIVED SHRUBS. ACCENT PLANTING WILL BE PROMINENT AT THE PROPERTY ENTRANCES.

THE RESIDENCE INN MARRIOTT LANDSCAPE WILL ENHANCE THE NEIGHBORHOOD WITH AN ATTRACTIVE MIX OF PLANT MATERIAL AND DECORATIVE PAVING. THE WALLS AT THE PROPERTY'S PERIMETER WILL BE SOFTENED WITH A COMBINATION OF VINES AND SCREENING SHRUBS. THROUGHOUT THE PROPERTY A COLORFUL PALETTE OF SHRUBS AND SUCCULENTS WILL PROVIDE HOTEL VISITORS A WEALTH OF VISUAL INTEREST THAT WILL ENRICH THEIR TIME IN SAN DIEGO. THE TREE SELECTION INCLUDES A CAREFUL BALANCE OF LARGE-SCALE CANOPY TREES, BROAD-HEADED PALMS AND FLOWERING ACCENTS THAT WILL COMPLEMENT THE NEIGHBORHOOD AND PROSPER IN MISSION VALLEY.

**EXISTING TREES NOTE:**  
ALL EXISTING TREES OUTSIDE BUILDING & SITE CONSTRUCTION AREA WILL BE SALVAGED WHEREVER FEASIBLE. IF TREES INDICATED ON EXISTING TREE INVENTORY TO BE RETAINED (SHT. L1.03) ARE DETERMINED TO BE DISEASED OR STRUCTURALLY DEFICIENT BY A CERTIFIED ARBORIST, TREES SHALL BE REPLACED WITH 40" SIZE SPECIMENS OF SAME SPECIES. TREE PROTECTION PLAN SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE DEVELOPMENT SERVICES DEPARTMENT CONSTRUCTION PERMIT ISSUANCE.

**DESIGN CRITERIA:**

- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE LANDSCAPE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS, THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL, AND ALL OTHER LANDSCAPE-RELATED CITY AND REGIONAL STANDARDS.
- PLANTING WILL BE DESIGNED TO HIGHLIGHT ENTRANCE AREAS TO THE PROJECT AND ADD VISUAL INTEREST TO THE SITE.
- ARCHITECTURAL ELEMENTS OF THE SITE WILL BE HIGHLIGHTED AND ENHANCED WITH PLANTINGS OF SIMILAR DESIGN CHARACTER.
- ALL PLANT MATERIAL SELECTED FOR USE WILL BE OF A TYPE KNOWN TO BE SUCCESSFUL IN THE AREA OR IN SIMILAR CLIMATIC AND SOIL CONDITIONS.
- COLOR FROM PLANT FOLIAGE, BARK, OR FLOWER WILL BE UTILIZED TO CREATE AN INVITING, WARM, AND VISUALLY APPEALING LANDSCAPE ENVIRONMENT. THEMATIC COLOR SCHEMES WILL BE UTILIZED IN DEVELOPING PROJECT IDENTITY.

**IRRIGATION CONCEPT:**

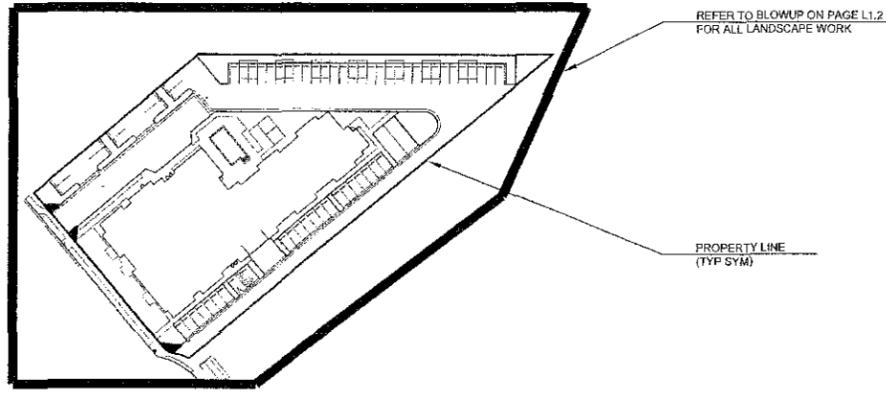
- THE LANDSCAPE ASSOCIATED WITH THIS PROJECT SHALL BE IRRIGATED BY MEANS OF AN AUTOMATIC IRRIGATION SYSTEM. THE SYSTEM SHALL INCLUDE THE FOLLOWING:
- IRRIGATION SYSTEM SHALL BE PROTECTED BY A BACKFLOW PREVENTION DEVICE.
  - IRRIGATION SYSTEM SHALL BE AN AUTOMATIC, PERMANENT, BELOW-GRADE SYSTEM.
  - HOSE BIBBS AND/OR QUICK COUPLING VALVES SHALL BE INCLUDED TO SERVICE PLANTING AREAS.
  - IRRIGATION SYSTEMS SHALL BE SPRAY OR DRIP SYSTEMS.
  - NO IRRIGATION RUN-OFF SHALL DRAIN OFF-SITE INTO THE PUBLIC RIGHT-OF-WAY, STREETS, DRIVES, OR ALLEYS. A CONNECTION SHALL NOT BE MADE TO ANY STORMWATER SYSTEM WITHOUT PROPER BMP'S.
  - THE BMP'S SHALL STORE AND TREAT ALL STORMWATER AND ACCIDENTAL IRRIGATION RUN-OFF PRIOR TO DISCHARGE INTO CITY STORMWATER SYSTEM.

**MAINTENANCE:**

- ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. LANDSCAPE AREAS SHALL BE FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT. ALL PRUNING SHALL COMPLY WITH THE STANDARDS OF THE NATIONAL ARBORIST ASSOCIATION.

**GENERAL NOTES:**

- ALL GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142-04F (OF THE SAN DIEGO MUNICIPAL CODE) AND IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT MANUAL.
- GRADED PAD AREAS SHALL BE HYDRO-SEEDED TO PREVENT EROSION IN THE EVENT THAT CONSTRUCTION OF BUILDINGS DOES NOT OCCUR WITHIN 30 DAYS OF GRADING. HYDRO-SEED SHALL BE IRRIGATED OR REAPPLIED AS NECESSARY TO ESTABLISH GROWTH.
- ROUTINE STRUCTURAL BMP'S:
  - THE ONSITE DRAINS AND CATCH BASINS WILL BE STENCILED TO INDICATE THAT THE AREAS DRAIN DIRECTLY TO THE OCEAN.
  - COMMON AREAS FOR TRASH WILL BE PROVIDED AND WILL BE MAINTAINED TO REDUCE ANY RUNOFF FROM THE AREA. THE PROPERTY MANAGERS WILL BE RESPONSIBLE FOR THIS MAINTENANCE.
  - WATER-EFFICIENT IRRIGATION SYSTEMS WILL BE USED. DROUGHT-TOLERANT PLANTS WILL BE INCORPORATED INTO THE LANDSCAPE DESIGN.
- ALL PLANTING, IRRIGATION, AND LANDSCAPE RELATED IMPROVEMENTS WILL COMPLY WITH THE CITY OF SAN DIEGO LANDSCAPE REGULATIONS AND THE LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS.
- NON-BIODEGRADABLE ROOT BARRIERS SHALL BE INSTALLED AROUND ALL NEW STREET TREES.
- ALL TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER THE PEDESTRIAN WALKWAYS ARE AT LEAST 6 FEET ABOVE THE WALKWAY GRADE AND SO THAT ALL BRANCHES OVER VEHICLE TRAVEL WAYS ARE 14 FEET ABOVE GRADE OF THE TRAVEL WAY.
- ALL REQUIRED PLANTING AREAS SHALL BE MAINTAINED FREE OF WEEDS, DEBRIS, AND LITTER.
- ALL PROPOSED IRRIGATION SYSTEMS WILL USE AN APPROVED RAIN SENSOR SHUTOFF DEVICE.
- HIGH WATER USE PLANTS SHALL BE LIMITED TO NOT MORE THAN 10 PERCENT OF THE TOTAL DEVELOPED LANDSCAPE AREA. ALL OTHER PLANTINGS SHALL BE COMPOSED OF LOW-WATER-USE PLANT MATERIAL.
- AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE INSTALLED AS SHOWN ON THE CONSTRUCTION PLANS AND IN ACCORDANCE WITH THE CRITERIA AND STANDARDS OF THE SAN DIEGO LANDSCAPE ORDINANCE SECTION 142.0403 AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS. IRRIGATION SYSTEMS SHALL BE MAINTAINED FOR PROPER DEVELOPMENT AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
- ALL REQUIRED LANDSCAPE SHALL BE MAINTAINED IN A DISEASE, WEED AND LITTER FREE CONDITION AT ALL TIMES. SEVERE PRUNING OR 'TOPPING' OF TREES IS NOT PERMITTED UNLESS SPECIFICALLY NOTED IN THIS PERMIT.
- THE OWNER/PERMITEE SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE IMPROVEMENTS SHOWN ON THE APPROVED PLANS, INCLUDING THE RIGHT-OF-WAY, CONSISTENT WITH LANDSCAPE STANDARDS UNLESS LONG-TERM MAINTENANCE OF SAID LANDSCAPING WILL BE THE RESPONSIBILITY OF A LANDSCAPE MAINTENANCE DISTRICT OR THE APPROVED ENTITY.
- IF ANY REQUIRED LANDSCAPE (INCLUDING EXISTING OR NEW PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE



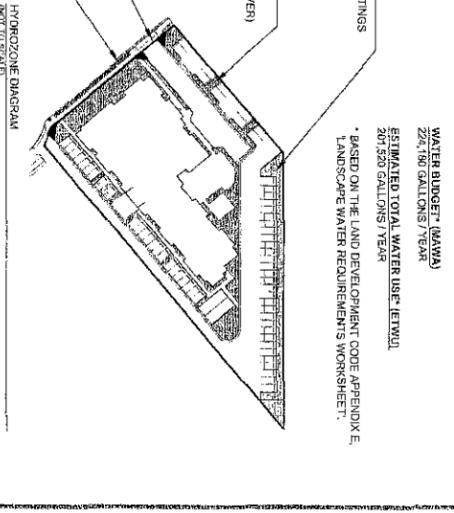
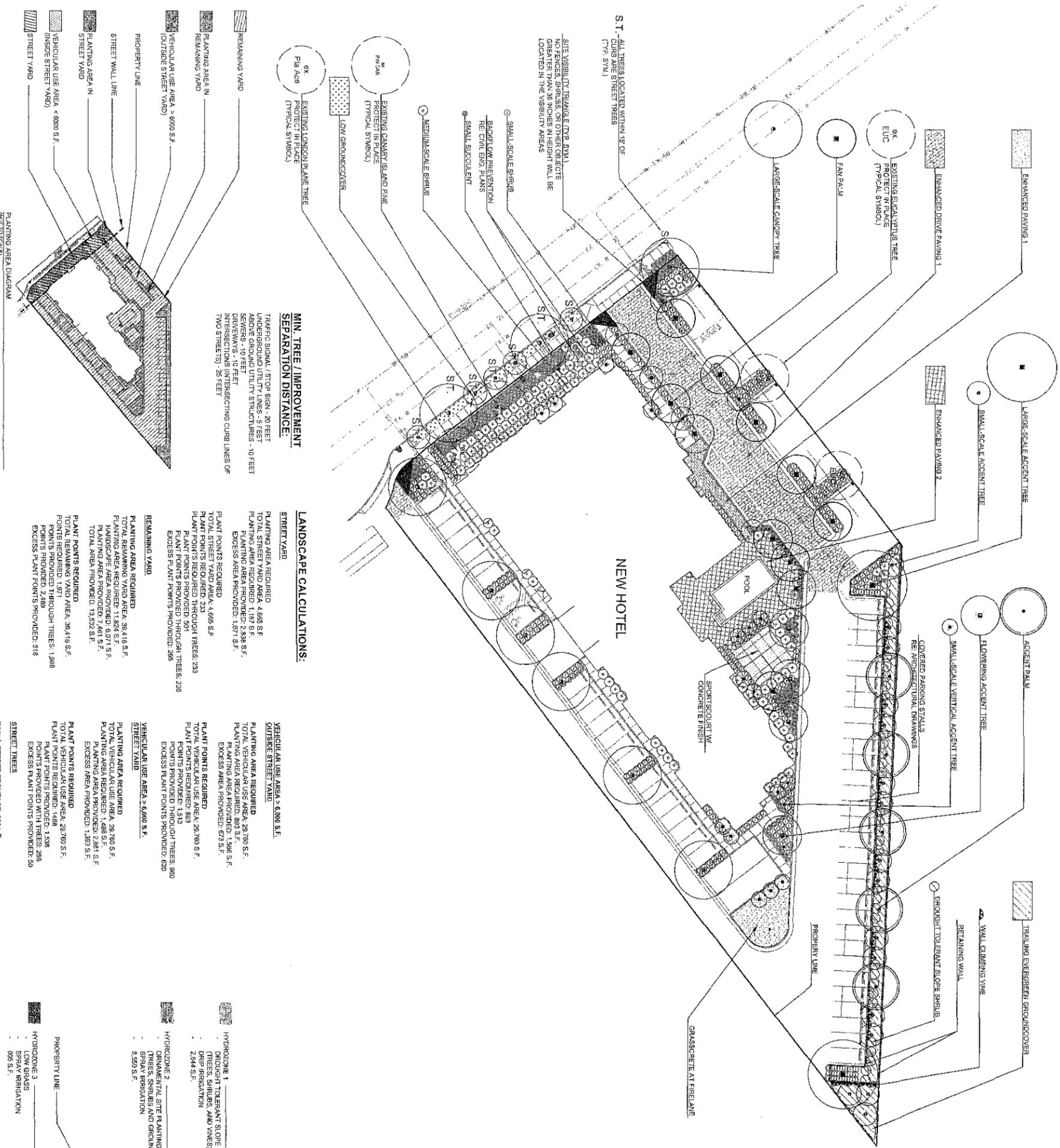
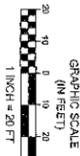
SITE PLAN SCALE NTS



Garfield Garding  
LANDSCAPE  
ARCHITECTURE  
DESIGN

212 W. STATE, SUITE 202  
SAN DIEGO, CALIFORNIA 92101  
PH: 619.447.4472 FAX: 619.447.4473

- GENERAL NOTE:**
1. ALL CANOPY TREES SHALL BE PROVIDED WITH 10 SQUARE FEET OF ROOT ZONE AND PLANTED IN AN AIR AND WATER PERMEABLE LANDSCAPE AREA. THE MINIMUM DIMENSION (WIDTH) OF THIS AREA SHALL BE 8 FEET. WALLS 15 FEET IN HEIGHT OR GREATER SHALL BE SCREENED WITH VINES AND SHRUBS. ALL PLANTING PROVIDED ON THE FACE OF THE WALL WILL SCREEN 80% OF THE WALL WITHIN TWO YEARS.
  2. THERE ARE NO PROPOSED OR EXISTING BUS STOP AREAS.
  3. NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY SEWER FACILITY, AND FIVE FEET OF ANY WATER FACILITY.



445 CAMINO DEL RIOS,  
SAN DIEGO, CA 92108

**RESIDENCE INN  
@ MISSION VALLEY**

SITE DEVELOPMENT PERMIT SUBMITTAL

**Garfield Garding**  
LANDSCAPE  
ARCHITECTURE  
DESIGN

212 W. STATE, SUITE 202  
SAN DIEGO, CALIFORNIA 92101  
PH: 619.447.4472 FAX: 619.447.4473

ISSUE DATES	
No.	Description
1	SITE DEVELOPMENT PERMIT SUBMITTAL
2	REVISED PERMIT SUBMITTAL
3	REVISED PERMIT SUBMITTAL
4	REVISED PERMIT SUBMITTAL
5	REVISED PERMIT SUBMITTAL
6	REVISED PERMIT SUBMITTAL
7	REVISED PERMIT SUBMITTAL
8	REVISED PERMIT SUBMITTAL
9	REVISED PERMIT SUBMITTAL
10	REVISED PERMIT SUBMITTAL

**DEVELOPMENT**

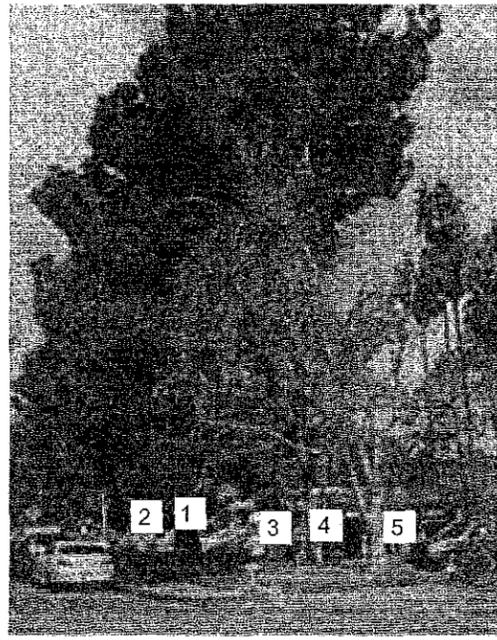
**LANDSCAPE  
DEVELOPMENT  
PLAN AND  
CALCULATIONS**

DRAWING ID:  
Project No.:  
Date: 2014-01-21  
SHEET NO.:  
**L1.02**

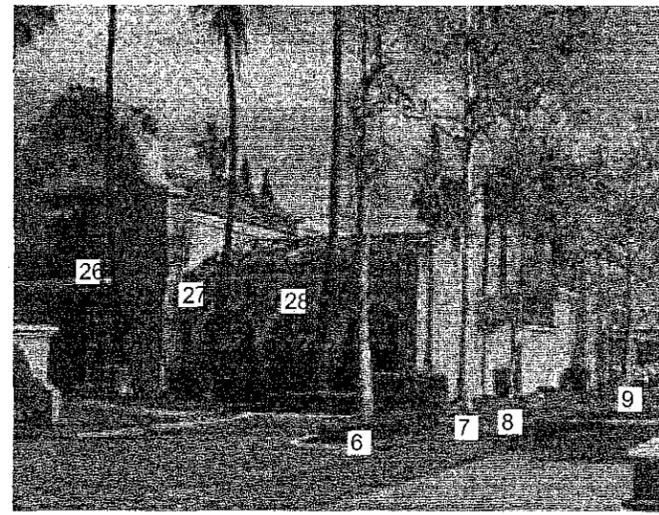
SHEET 22 OF 23

EXISTING TREE INVENTORY

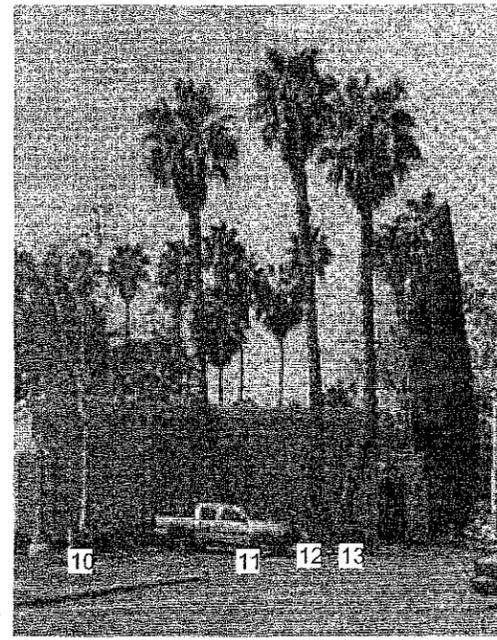
RETAIN/REMOVE/RELOCATE	REFERENCE NUMBER	SCIENTIFIC NAME	COMMON NAME	SIZE (HxW)	CALIPER
RETAIN	1	PINUS CANARIENSIS	CANARY ISLAND PINE	50' X 20"	26"
REMOVE	2	PINUS CANARIENSIS	CANARY ISLAND PINE	50' X 20"	26"
RETAIN	3	PLATANUS ACERIFOLIA	LONDON PLANE TREE	30' X 20"	18"
REMOVE	4	PLATANUS ACERIFOLIA	LONDON PLANE TREE	30' X 20"	12"
REMOVE	5	PLATANUS ACERIFOLIA	LONDON PLANE TREE	30' X 20"	13"
REMOVE	6	PLATANUS ACERIFOLIA	LONDON PLANE TREE	25' X 10"	17"
REMOVE	7	PLATANUS ACERIFOLIA	LONDON PLANE TREE	25' X 10"	15"
REMOVE	8	PLATANUS ACERIFOLIA	LONDON PLANE TREE	25' X 10"	15"
REMOVE	9	PLATANUS ACERIFOLIA	LONDON PLANE TREE	40' X 40"	22"
REMOVE	10	PLATANUS RACEMOSA	WESTERN SYCAMORE	20' X 15"	13"
REMOVE	11	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	40' X 8"	24"
REMOVE	12	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	40' X 8"	24"
REMOVE	13	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	40' X 8"	24"
REMOVE	14	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	40' X 8"	24"
REMOVE	15	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	40' X 8"	24"
REMOVE	16	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	40' X 8"	24"
REMOVE	17	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	40' X 8"	24"
REMOVE	18	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	40' X 8"	24"
REMOVE	19	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	40' X 8"	24"
REMOVE	20	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	40' X 8"	24"
REMOVE	21	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	30' X 8"	24"
REMOVE	22	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	40' X 8"	24"
REMOVE	23	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	40' X 8"	24"
REMOVE	24	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	40' X 8"	24"
REMOVE	25	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	40' X 8"	24"
REMOVE	26	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	40' X 8"	24"
REMOVE	27	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	40' X 8"	24"
REMOVE	28	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	40' X 8"	24"
RETAIN	29	EUCALYPTUS CITRIODORA	LEMON SCENTED GUM	60' X 30"	18"
RETAIN	30	EUCALYPTUS CITRIODORA	LEMON SCENTED GUM	60' X 30"	18"
REMOVE	31	EUCALYPTUS CITRIODORA	LEMON SCENTED GUM	60' X 30"	18"
REMOVE	32	EUCALYPTUS SIDEROXYLON	RED IRON BARK	20' X 15"	8"
REMOVE	33	EUCALYPTUS SIDEROXYLON	RED IRON BARK	20' X 15"	8"
REMOVE	34	EUCALYPTUS SIDEROXYLON	RED IRON BARK	20' X 15"	9"
REMOVE	35	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	40' X 8"	24"
REMOVE	36	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	40' X 8"	24"
REMOVE	37	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	50' X 12"	6"
REMOVE	38	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	50' X 12"	6"
REMOVE	39	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	50' X 12"	6"



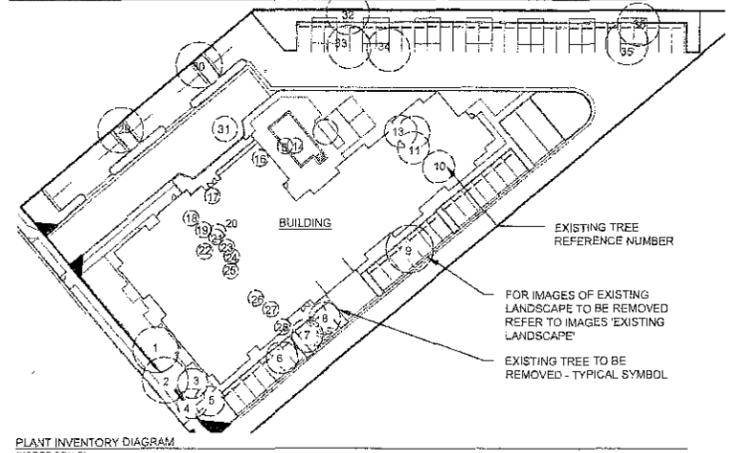
TREES 1-5 (NOT TO SCALE)



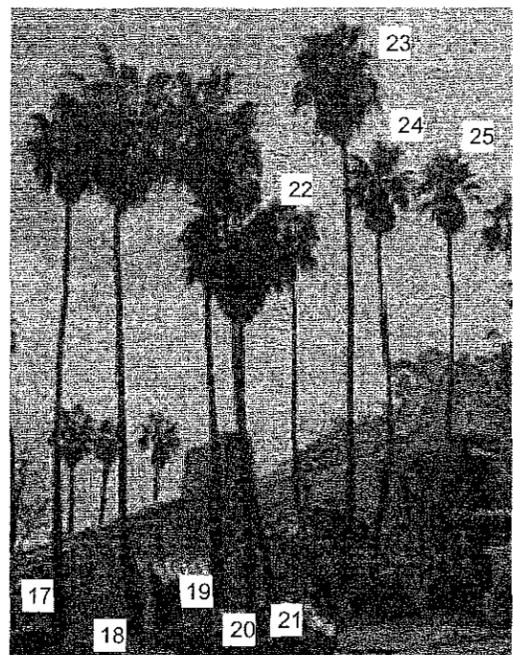
TREES 6-9, 26-28 (NOT TO SCALE)



TREES 10-13 (NOT TO SCALE)



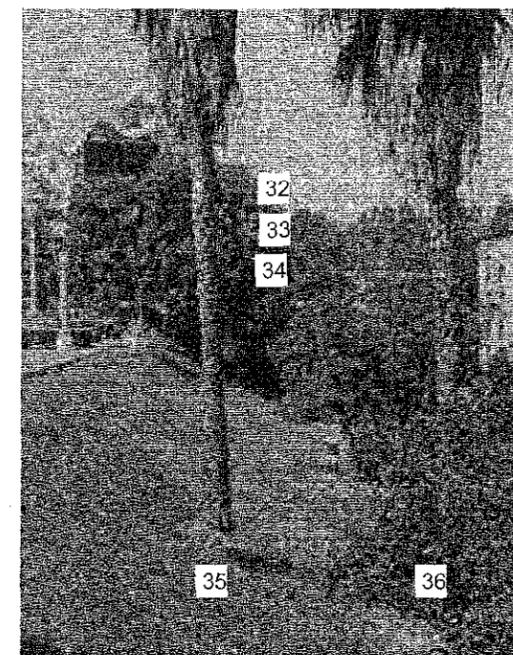
PLANT INVENTORY DIAGRAM (NOT TO SCALE)



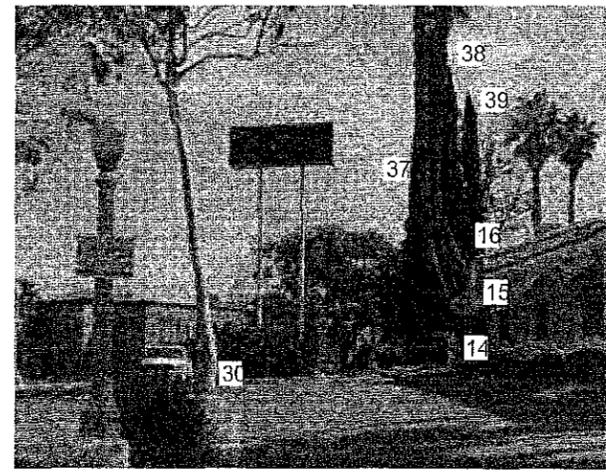
TREES 17-25 (NOT TO SCALE)



TREES 29-30 (NOT TO SCALE)



TREES 32-36 (NOT TO SCALE)



TREES 14-16, 26, 31, 37-39 (NOT TO SCALE)

**G**  
Garbini & Garbini  
LANDSCAPE ARCHITECTURE  
DESIGN  
715 17<sup>th</sup> STREET, SUITE 100  
SAN DIEGO, CALIFORNIA 92101  
619.525.4307 • 619.525.4310

PROJECT

**RESIDENCE INN @ MISSION VALLEY**  
SITE DEVELOPMENT PERMIT SUBMITTAL



445 CAMINO DEL RIO S.  
SAN DIEGO, CA 92108



ISSUE DATES

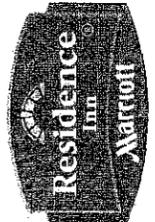
No.	Date	Description
2013-04-11	2013-04-11	SITE DEV. PERMIT - COMPLETIONS CHECK
2013-05-17	2013-05-17	SITE DEV. PERMIT - INITIAL SUBMITTAL
2013-08-28	2013-08-28	SITE DEV. PERMIT - REVISIONS
2013-12-20	2013-12-20	SITE DEV. PERMIT - REVISIONS
2014-01-23	2014-01-23	SITE DEV. PERMIT - REVISIONS

SHEET TITLE  
**LANDSCAPE DEVELOPMENT PLAN EXISTING LANDSCAPE IMAGES**  
DRAWING I.D.:  
Project No.:  
Date: 2014 - 01-21  
SHEET NO.:  
**L1.03**  
SHEET 23 OF 23



PROJECT

**RESIDENCE INN @ MISSION VALLEY**  
SITE DEVELOPMENT PERMIT SUBMITTAL



445 CAMINO DEL RIO SOUTH, SAN DIEGO, CA 92108



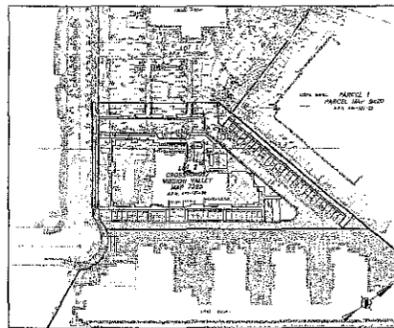
ISSUE DATES

No.	Date	Description
20130417	2013/04/17	SITE/SUB PERMIT SUBMITTAL COMPLETION CHECK
20130417	2013/04/17	SITE/SUB PERMIT SUBMITTAL
20130826	2013/08/26	SITE/SUB PERMIT SUBMITTAL
20131208	2013/12/08	SITE/SUB PERMIT SUBMITTAL
20140121	2014/01/21	SITE/SUB PERMIT SUBMITTAL

**GENERAL NOTES**

- APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A PERMIT HAS BEEN ISSUED.
- THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY THE CITY OF SAN DIEGO DOES NOT AUTHORIZE THE SUBMITTER AND OWNER TO VIOLATE ANY FEDERAL, STATE OR CITY LAWS, ORDINANCES, REGULATIONS, OR POLICES, INCLUDING, BUT NOT LIMITED TO, THE FEDERAL ENDANGERED SPECIES ACT OF 1973 AND AMENDMENTS THEREIN (16 USC SECTION 1531 ET SEQ.).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DESTROYED BY CONSTRUCTION. A LAND SURVEYOR MUST FIELD LOCATE, REFERENCE, AND/OR PRESERVE ALL HISTORICAL OR CONTROLLING MONUMENTS PRIOR TO ANY CONSTRUCTION. IF DESTROYED, A LAND SURVEYOR SHALL REPLACE SUCH MONUMENTS WITH APPROPRIATE MONUMENTS. A CORNER RECORD OR RECORD OF SURVEY, AS APPROPRIATE, SHALL BE FILED AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT, SECTION 8171 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA. IF ANY VERTICAL CONTROL IS TO BE DISTURBED OR DESTROYED, THE CITY OF SAN DIEGO FIELD SURVEY SECTION MUST BE NOTIFIED IN WRITING, AT LEAST 3 DAYS PRIOR TO THE CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPLACING ANY VERTICAL CONTROL BENCHMARKS DESTROYED BY THE CONSTRUCTION.
- IMPORTANT NOTICE: SECTION 4216 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "TENDRIT TO EXCAVATE" WILL BE VALID FOR YOUR DIG ALERT I.D. NUMBER. CALL UNDERGROUND SERVICE ALERT, TOLL FREE 1-800-422-4133, TWO DAYS BEFORE YOU DIG.
- CONTRACTOR SHALL IMPLEMENT AN EROSION AND SEDIMENT CONTROL PROGRAM DURING THE PROJECT GRADING AND/OR CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL MEET ALL APPLICABLE REQUIREMENTS OF THE STATE WATER RESOURCE CONTROL BOARD AND THE CITY OF SAN DIEGO MUNICIPAL CODE AND STORM WATER STANDARDS MANUAL.
- "PUBLIC IMPROVEMENT SUBJECT TO DESEIURE OR DAMAGE." IF REPAIR OR REPLACEMENT OF SUCH PUBLIC IMPROVEMENTS IS REQUIRED, THE OWNER SHALL OBTAIN THE REQUIRED PERMIT FOR WORK IN THE PUBLIC RIGHT-OF-WAY, SATISFACTORY TO THE PERMIT-ISSUING AUTHORITY.
- ALL EXISTING AND/OR PROPOSED PUBLIC UTILITY SYSTEMS AND SERVICE FACILITIES SHALL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH SECTION 144.0140 OF THE MUNICIPAL CODE.
- PRIOR TO ANY DISTURBANCE TO THE SITE, EXCLUDING UTILITY MARK-OUTS AND SURVEYING, THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR A PRE-CONSTRUCTION MEETING WITH THE CITY OF SAN DIEGO FIELD ENGINEERING DIVISION (659) 527-3300.
- DEVIATIONS FROM THESE GRADING PLANS WILL NOT BE ALLOWED UNLESS A CONSTRUCTION CHANGE IS APPROVED BY THE CITY ENGINEER OR THE CHANGE IS REQUESTED BY THE CITY INSPECTOR.
- AS-BUILT DRAWINGS MUST BE SUBMITTED TO THE RESIDENT ENGINEER PRIOR TO ACCEPTANCE OF THIS PROJECT BY THE CITY OF SAN DIEGO.
- AN AS-GRADED GEOTECHNICAL REPORT AND A SET OF THE REFINED GRADING PLANS SHALL BE SUBMITTED AT AREA 3 ON THE THIRD FLOOR OF DEVELOPMENT SERVICES WITHIN 30 CALENDAR DAYS OF THE COMPLETION OF GRADING. AN ADDITIONAL SET SHALL BE PROVIDED TO THE RESIDENT ENGINEER OF THE FIELD ENGINEERING DIVISION AT 9455 ACRO DR.
- THE AREA WHICH IS DEFINED AS A NON-GRADING AREA AND WHICH IS NOT TO BE DISTURBED SHALL BE STAKED PRIOR TO START OF THE WORK. THE PERMIT APPLICANT AND ALL OF THEIR REPRESENTATIVES OR CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS FOR PROTECTION OF THIS AREA AS REQUIRED BY ANY APPLICABLE AGENCY. ISSUANCE OF THE CITY'S GRADING PERMIT SHALL NOT RELIEVE THE APPLICANT OR ANY OF THEIR REPRESENTATIVES OR CONTRACTORS FROM COMPLYING WITH ANY STATE OR FEDERAL REQUIREMENTS BY AGENCIES INCLUDING BUT NOT LIMITED TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, CALIFORNIA DEPARTMENT OF FISH AND GAME, COMPLIANCE MAY INCLUDE OBTAINING PERMITS, OTHER AUTHORIZATIONS, OR COMPLIANCE WITH MANDATES BY ANY APPLICABLE STATE OR FEDERAL AGENCY.
- CONTRACTOR SHALL REMOVE AND REPLACE ALL UTILITY BOXES SERVING AS HANGHOLES THAT ARE NOT IN "AS-NEW" CONDITION IN PROPOSED SIDEWALK, DAMAGED BOXES, OR THOSE THAT ARE NOT IN COMPLIANCE WITH CURRENT CODE. SHALL BE REMOVED AND REPLACED WITH NEW BOXES, INCLUDING WATER, STORM, TRAFFIC SIGNALS, STREET LIGHTS, BICYCLE UTILITY-BOXES, COX, ETC. ALL NEW METAL LIDS SHALL BE SLIP RESISTANT (FRICTION FACTOR >= 0.50) AND INSTALLED FLUSH WITH PROPOSED SIDEWALK GRADE. IF A SLIP RESISTANT METAL LID IS NOT COMMERCIALLY AVAILABLE FOR THAT USE, NEW BOXES AND LIDS SHALL BE INSTALLED.

**GRADING PLANS FOR: RESIDENCE INN @ MISSION VALLEY**



KEY MAP

SCALE: 1"=100'

**GRADING & GEOTECHNICAL SPECIFICATIONS**

- ALL GRADING SHALL BE DONE UNDER OBSERVATION AND TESTING BY A QUALIFIED CIVIL ENGINEER OR GEOTECHNICAL ENGINEER AND, IF REQUIRED, BOTH A QUALIFIED CIVIL ENGINEER OR GEOTECHNICAL ENGINEER AND AN ENGINEERING GEOLOGIST. ALL GRADING MUST BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY ORDINANCES AND THE RECOMMENDATIONS AND SPECIFICATIONS SET FORTH IN THE SOILS REPORT OR GEOLOGICAL/GEOENGINEERING INVESTIGATION.
- PHASE I ENVIRONMENTAL SITE ASSESSMENT, FORMER EL TORO RESTAURANT, 445 CAMINO DEL RIO SOUTH, SAN DIEGO, CALIFORNIA. PREPARED BY: CONSTRUCTION TESTING & ENGINEERING, INC. DATED: MARCH 31, 2013.
- ALL FILL MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 90% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MOST RECENT VERSION OF A.S.T.M. D-1557 OR AN APPROVED ALTERNATIVE STANDARD.
- AT THE COMPLETION OF THE GRADING OPERATIONS FOR THE EARTHWORK SHOWN ON THIS PLAN, AN AS-GRADED SOILS REPORT OR, IF REQUIRED, AN AS-GRADED GEOTECHNICAL REPORT WILL BE PREPARED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE CITY OF SAN DIEGO TECHNICAL SPECIFICATIONS FOR GEOTECHNICAL REPORTS. THE FINAL "AS-GRADED" GEOTECHNICAL REPORT WILL BE SUBMITTED TO THE FIELD ENGINEERING SECTION OF ENGINEERING AND CAPITAL PROJECTS DEPARTMENT AND A SECOND COPY TO THE GEOLOGY SECTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF THE COMPLETION OF GRADING. WHERE GEOLOGY INSPECTION IS REQUIRED IN THE PERMIT OR PROJECT PLANS, REPORTS OR SPECIFICATIONS, THE FINAL REPORT MUST ALSO BE REVIEWED AND SIGNED BY A CALIFORNIA CERTIFIED ENGINEERING GEOLOGIST.
- IF THE GEOTECHNICAL CONSULTANT OF RECORD IS CHANGED FOR THE PROJECT, THE WORK SHALL BE STOPPED UNTIL THE REPLACEMENT HAS AGREED IN WRITING TO ACCEPT THE RESPONSIBILITY WITHIN THE AREA OF THEIR TECHNICAL COMPETENCE FOR APPROVAL UPON COMPLETION OF THE WORK. IT SHALL BE THE DUTY OF THE PERMITTEE TO NOTIFY THE CITY ENGINEER AND THE GEOLOGY SECTION OF DEVELOPMENT SERVICES IN WRITING OF SUCH CHANGE, PRIOR TO THE RECOMMENCEMENT OF GRADING.
- THESE GRADING PLANS HAVE BEEN REVIEWED BY THE UNDERSIGNED AND FOUND TO BE IN CONFORMANCE WITH THE RECOMMENDATIONS AND SPECIFICATIONS CONTAINED IN THE REFERENCED GEOTECHNICAL REPORT(S) PREPARED FOR THIS PROJECT.

**EXISTING LEGAL DESCRIPTION**

REAL PROPERTY IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBE AS FOLLOWS:  
 PARCEL 1:  
 LOT 2 OF CROSS ROAD MISSION VALLEY IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7395 ON FILE IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON AUGUST 8, 1978.  
 PARCEL 2:  
 NON-EXCLUSIVE EASEMENTS WITHIN THE COMMON AREAS OF LOTS 1 AND 3 OF CROSSROADS MISSION VALLEY IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7395 ON FILE IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON AUGUST 8, 1978, AS SET FORTH IN THAT CERTAIN DOCUMENT ENTITLED "DECLARATION OF RESTRICTIONS AND GRANT OF EASEMENTS DATED MARCH 5, 1978, EXECUTED BY CROSSROADS ASSOCIATES, A GENERAL PARTNERSHIP, RECORDED APRIL 7, 1978, DOCUMENT NO. 75-077997 OF OFFICIAL RECORDS.

**ASSESSORS PARCEL NUMBER**

444-129-05-00

**STORM WATER PROTECTION NOTES**

- THIS PROJECT IS SUBJECT TO MUNICIPAL STORM WATER PERMIT ORDER NO. 186-2007-0001 AND RISK LEVEL/TYPIC. CHECK ONE BELOW:  
 MFCP  
 CDP RISK LEVEL 1  
 CDP RISK LEVEL 2  
 CDP RISK LEVEL 3  
 CDP LUP TYPE 1  
 CDP LUP TYPE 2  
 CDP LUP TYPE 3
- CHECK ONE:  
 THIS PROJECT WILL EXCEED THE MAXIMUM DISTURBED AREA LIMIT, THEREFORE A HEAVYWEIGHT PROTECTED ACTION PLAN (HWAP) IS REQUIRED.  
 THIS PROJECT WILL FOLLOW PHASED GRADING NOT TO EXCEED FIVE (5) ACRES PER PHASE.  
 NOT APPLICABLE.
- THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE MFCP OR HWAP AS APPLICABLE.

**DECLARATION OF RESPONSIBLE CHARGE**

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6700 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.  
 I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SAN DIEGO IS CONSIDERED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

ENGINEER'S NAME (SIGNATURE)	R.C.E. OR G.E.	DATE
GEOLOGIST'S NAME	C.E.G.	DATE
COMPANY NAME: ADDRESS: TELEPHONE NUMBER:		

FOR SOIL FILE SEE CITY RECORD 5 - 283156

18400 VEN KATMAH AVE. SUITE 600  
 949.292.1022  
 949.292.8082  
 WWW.KPT.COM

**GRADING NOTES**

- GRADING AS SHOWN ON THESE PLANS SHALL BE IN CONFORMANCE WITH CURRENT STANDARD SPECIFICATIONS AND CHAPTER 14, ARTICLE 2, DIVISION 1 OF THE SAN DIEGO MUNICIPAL CODE.
- PLANT AND IRRIGATE ALL CUT AND FILL SLOPES AS REQUIRED BY ARTICLE 2, DIVISION 4, SECTION 142.0411 OF THE SAN DIEGO LAND DEVELOPMENT CODE AND ACCORDING TO SECTION IV OF THE LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS.
- GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED, COVERED BY STRUCTURE, OR PLANTED FOR A PERIOD OVER 90 DAYS SHALL BE TEMPORARILY RE-VEGETATED WITH A NON-IRRIGATED HYDRATED MULCH, GROUND COVER, OR EQUIVALENT MATERIAL. SEE CALSDA BMP CD-4 FOR MIX AND SPECIFICATIONS.

**GROUND WATER DISCHARGE NOTES**

- ALL GROUND WATER EXTRACTION AND SIMILAR WASTE DISCHARGES TO SURFACE WATERS TRIBUTARY TO THE SAN DIEGO BAY ARE PROHIBITED UNTIL IT CAN BE DEMONSTRATED THAT THE OWNER HAS APPLIED AND OBTAINED AUTHORIZATION FROM THE STATE OF CALIFORNIA VIA AN OFFICIAL "ENROLLMENT LETTER" FROM THE REGIONAL WATER QUALITY CONTROL BOARD IN ACCORDANCE WITH THE TERMS, PROVISIONS AND CONDITIONS OF STATE ORDER NO. 89-2007-0004 (MFCP LAG 819002).
- THE ESTIMATED MAXIMUM DISCHARGE RATES MUST NOT EXCEED THE LIMITS SET IN THE OFFICIAL "ENROLLMENT LETTER" FROM THE REGIONAL BOARD UNLESS PRIOR NOTIFICATION AND SUBSEQUENT AUTHORIZATION HAS BEEN OBTAINED, AND DISCHARGE OPERATIONS ADJUSTED TO ACCOMMODATE THE HIGHER RATES.
- ALL GROUND WATER EXTRACTIONS AND SIMILAR WASTE DISCHARGES TO SURFACE WATERS TRIBUTARY TO THE SAN DIEGO BAY ARE PROHIBITED UNTIL IT CAN BE DEMONSTRATED THAT THE OWNER HAS APPLIED AND OBTAINED AUTHORIZATION FROM THE STATE OF CALIFORNIA VIA AN OFFICIAL "ENROLLMENT LETTER" FROM THE REGIONAL WATER QUALITY CONTROL BOARD IN ACCORDANCE WITH THE TERMS, PROVISIONS AND CONDITIONS OF STATE ORDER NO. 89-2007-0004 (MFCP LAG 819002).

POST-CONSTRUCTION PERMANENT BMP OPERATION & MAINTENANCE PROCEDURE DETAILS					
STORM WATER MANAGEMENT AND DISCHARGE CONTROL MAINTENANCE AGREEMENT APPROVAL NO. 999019					
G&M RESPONSIBLE PARTY DESIGNATE: "T2 DEVELOPMENT, OWNER"					
BMP DESCRIPTION	INSPECTION FREQUENCY	MAINTENANCE FREQUENCY	MAINTENANCE METHOD	QUANTITY	SHEET NUMBER(S)
SITE DESIGN					
SOURCE CONTROL					
TREATMENT BMP					
MODULAR WETLANDS SYSTEM	EVERY 3 MONTHS	EVERY 6 MONTHS	PER MANUFACTURER MANUAL	3	C107
BMP FACILITY					



VICINITY MAP

NO SCALE

**SHEET INDEX**

TITLE SHEET	C101
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**PRIVATE WATER AND WASTEWATER**

THE PRIVATE WATER/SANITARY SYSTEM IS DESIGNED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE AND IS SHOWN ON THESE PLANS AS "INFORMATION ONLY". A SEPARATE PLUMBING PERMIT IS REQUIRED FOR CONSTRUCTION AND INSPECTION OF THE SYSTEM.  
 ENGINEERING PERMIT NO. \_\_\_\_\_ MFD NO. \_\_\_\_\_  
 DISCRETIONARY PERMIT NO. \_\_\_\_\_  
 RETAINING WALL PROJECT NO. \_\_\_\_\_ CONSTRUCTION SITE STORM WATER PRIORITY: \_\_\_\_\_

SHEET TITLE

TITLE SHEET

DRAWING I.D.:

Project No.:

Date: 2013 - 12-05

SHEET NO.:

**C101**

**EROSION AND SEDIMENT CONTROL NOTES**

TEMPORARY EROSION/SEDIMENT CONTROL, PRIOR TO COMPLETION OF FINAL IMPROVEMENTS, SHALL BE PERFORMED BY THE CONTRACTOR OR QUALIFIED PERSON AS INDICATED BELOW:

1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMP'S AND FOR PERMANENT POST CONSTRUCTION TREATMENT CONTROL PERMANENT BMP'S, THE WATER QUALITY TECHNICAL REPORT (WQTR) IF APPLICABLE.
2. FOR STORM DRAIN INLETS, PROVIDE A GRAVEL BAG SILT BASIN IMMEDIATELY UPSTREAM OF INLET AS INDICATED ON DETAILS.
3. FOR INLETS LOCATED AT SUMPS ADJACENT TO TOP OF SLOPES, THE CONTRACTOR SHALL ENSURE THAT WATER DRAINING TO THE SUMP IS DIRECTED INTO THE INLET AND THAT A MINIMUM OF 1.00' FREEBOARD EXISTS AND IS MAINTAINED ABOVE THE TOP OF THE INLET. IF FREEBOARD IS NOT PROVIDED BY GRADING SHOWN ON THESE PLANS, THE CONTRACTOR SHALL PROVIDE IT VIA TEMPORARY MEASURES, I.E. GRAVEL BAGS OR DIKES.
4. THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF SILT AND MUD ON ADJACENT STREET(S) AND STORM DRAIN SYSTEM DUE TO CONSTRUCTION ACTIVITY.
5. THE CONTRACTOR OR QUALIFIED PERSON SHALL CHECK AND MAINTAIN ALL LINED AND UNLINED DITCHES AFTER EACH RAINFALL.
6. THE CONTRACTOR SHALL REMOVE SILT AND DEBRIS AFTER EACH MAJOR RAINFALL.
7. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
8. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE CITY ENGINEER OR RESIDENT ENGINEER AFTER EACH RUN-OFF PRODUCING RAINFALL.
9. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION/SEDIMENT CONTROL MEASURES AS MAY BE REQUIRED BY THE RESIDENT ENGINEER DUE TO UNCOMPLETED GRADING OPERATIONS OR UNFORESEEN CIRCUMSTANCES WHICH MAY ARISE.
10. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
11. ALL EROSION/SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED GRADING PLAN SHALL BE INCORPORATED HEREON. ALL EROSION/SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE DONE TO THE SATISFACTION OF THE RESIDENT ENGINEER.
12. GRADED AREAS AROUND THE PROJECT PERIMETER MUST DRAIN AWAY FROM THE FACE OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
13. ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS IMMINENT.
14. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING FOR THE AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION/SEDIMENT CONTROL MEASURES.
15. THE CONTRACTOR SHALL ARRANGE FOR WEEKLY MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION/SEDIMENT CONTROL MEASURES AND OTHER RELATED CONSTRUCTION ACTIVITIES.

**WORK TO BE DONE**

THE IMPROVEMENTS CONSIST OF THE FOLLOWING WORK TO BE DONE ACCORDING TO THESE PLANS AND THE SPECIFICATIONS AND STANDARD DRAWINGS OF THE CITY OF SAN DIEGO:

**STANDARD SPECIFICATIONS:**

DOCUMENT NO.	FILED	DESCRIPTION
FITS05040901	05-04-09	STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK), 2009 EDITION
FITS090110-1	09-01-10	STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (WHITEBOOK), 2010 EDITION
AEC1231064	12-31-10	CALIFORNIA DEPARTMENT OF TRANSPORTATION, MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD 2006)
AEC0923062	09-23-08	CALTRANS 2006 (U.S. CUSTOMARY SPECIFICATIONS)

**STANDARD DRAWINGS:**

DOCUMENT NO.	FILED	DESCRIPTION
AEC1231063	12-31-06	CITY OF SAN DIEGO STANDARD DRAWINGS INCLUDING REGIONAL STANDARD DRAWINGS
AEC0923061	09-23-06	CALTRANS 2006 U.S. CUSTOMARY UNIT STANDARD PLANS

**MINIMUM POST-CONSTRUCTION MAINTENANCE PLAN**

AT THE COMPLETION OF THE WORK SHOWN, THE FOLLOWING PLAN SHALL BE FOLLOWED TO ENSURE WATER QUALITY CONTROL IS MAINTAINED FOR THE LIFE OF THE PROJECT:

1. STABILIZATION: ALL PLANTED SLOPES AND OTHER VEGETATED AREAS SHALL BE INSPECTED PRIOR TO OCTOBER 1 OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 1/2 INCH) AND REPAIRED AND REPLANTED AS NEEDED UNTIL A NOTICE OF TERMINATION (NOT) IS FILED.
2. STRUCTURAL PRACTICES: DESILTING BASINS, DIVERSION DITCHES, DOWNDRAINS, INLETS, OUTLET PROTECTION MEASURES, AND OTHER PERMANENT WATER QUALITY AND SEDIMENT AND EROSION CONTROLS SHALL BE INSPECTED PRIOR TO OCTOBER 1ST OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 1/2 INCH). REPAIRS AND REPLACEMENTS SHALL BE MADE AS NEEDED AND RECORDED IN THE MAINTENANCE LOG IN PERPETUITY.
3. OPERATION AND MAINTENANCE, FUNDING: POST-CONSTRUCTION MANAGEMENT MEASURES ARE THE RESPONSIBILITY OF THE DEVELOPER UNTIL THE TRANSFER OF RESPECTIVE SITES TO HOME BUILDERS, INDIVIDUAL OWNERS, HOMEOWNERS ASSOCIATIONS, SCHOOL DISTRICTS, OR LOCAL AGENCIES AND/OR GOVERNMENTS. AT THAT TIME, THE NEW OWNERS SHALL ASSUME RESPONSIBILITY FOR THEIR RESPECTIVE PORTIONS OF THE DEVELOPMENT.

**PERMANENT POST-CONSTRUCTION BMP NOTES**

1. OPERATION AND MAINTENANCE SHALL BE SECURED BY AN EXECUTED AND RECORDED STORM WATER MANAGEMENT AND DISCHARGE CONTROL MAINTENANCE AGREEMENT (SWMDCMA), OR ANOTHER MECHANISM APPROVED BY THE CITY ENGINEER, THAT ASSURES ALL PERMANENT BMP'S WILL BE MAINTAINED IN PERPETUITY, PER THE LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS.
2. PERMANENT POST CONSTRUCTION BMP DEVICES SHOWN ON PLAN SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE CITY ENGINEER OR RESIDENT ENGINEER AND THE ENGINEER OF WORK.

**ENVIRONMENTAL/MITIGATION REQUIREMENTS:**

**A. GENERAL REQUIREMENTS**

1. PRE-CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT. THE PERMIT HOLDER IS RESPONSIBLE TO ARRANGE AND PERFORM THIS MEETING BY CONTACTING THE CITY RESIDENT ENGINEER (RE) OF THE FIELD ENGINEERING DIVISION AND CITY STAFF FROM MITIGATION MONITORING COORDINATION (MMC). ATTENDEES MUST ALSO INCLUDE THE PERMIT HOLDER'S REPRESENTATIVES, JOB SITE SUPERINTENDENT AND THE FOLLOWING CONSULTANTS:

**PROJECT DIRECTORY:**

<b>ARCHITECT:</b> JONES BALLARD ARCHITECTS 17871 CALLE DELICADA LA JOLLA, CA 92037 TEL: 619.577.5675 CONTACT: STEPHEN JONES	<b>CIVIL ENGINEER:</b> KPFF CONSULTING ENGINEERS 18400 VON KARMAN SUITE 900, IRVINE, CA 92612 TEL: 949.252.1022 FAX: 949.252.0807 CONTACT: ALI KHANMIRI
<b>LANDSCAPE ARCHITECT:</b> GARBIN & GARBIN LANDSCAPE ARCH., INC. 715 'J' ST., STE. 307 SAN DIEGO, CA 92101 TEL: 619.522.4743 CONTACT: RICK GARBIN	<b>STRUCTURAL ENGINEER:</b> KPFF CONSULTING ENGINEERS 3131 CAMINO DEL RIO NORTH, STE. 1080 SAN DIEGO, CA 92108 TEL: 619.521.8500 CONTACT: ERIC LEHMANN

NOTE:  
FAILURE OF ALL RESPONSIBLE PERMIT HOLDER'S REPRESENTATIVES AND CONSULTANTS TO ATTEND SHALL REQUIRE AN ADDITIONAL MEETING WITH ALL PARTIES PRESENT.

**CONTACT INFORMATION:**

- a) THE PRIMARY POINT OF CONTACT IS THE RE AT THE FIELD ENGINEERING DIVISION AT 656-627-3200.
- b) IT IS ALSO REQUIRED TO CALL THE RE AND MMC AT 656-627-3360 FOR CLARIFICATION OF ENVIRONMENTAL REQUIREMENTS.

2. MMRP COMPLIANCE: THIS PROJECT, PROJECT TRACKING SYSTEM (PTS) # \_\_\_\_\_ AND/OR ENVIRONMENTAL DOCUMENT # \_\_\_\_\_ SHALL CONFORM TO THE MITIGATION REQUIREMENTS CONTAINED IN THE ASSOCIATED ENVIRONMENTAL DOCUMENT AND SHALL BE IMPLEMENTED TO THE SATISFACTION OF CSO'S ENVIRONMENTAL DESIGNEE (MDC) AND THE RE. THE REQUIREMENTS MAY NOT BE REDUCED OR CHANGED BUT MAY BE ANNOTATED (I.E. TO EXPLAIN WHEN AND HOW COMPLIANCE IS BEING MET AND LOCATION OF VERIFYING PROOF, ETC.). ADDITIONAL CLARIFYING INFORMATION MAY ALSO BE ADDED TO OTHER RELEVANT PLAN SHEETS AND/OR SPECIFICATIONS AS APPROPRIATE (I.E. SPECIFIC LOCATIONS, TIMES OF MONITORING, METHODOLOGY, ETC.).

NOTE:  
PERMIT HOLDER'S REPRESENTATIVES MUST ALERT THE RE AND MMC IF THERE ARE ANY DISCREPANCIES IN THE PLANS, NOTES OR ANY CHANGES DUE TO FIELD CONDITIONS. ALL CONFLICTS MUST BE APPROVED BY THE RE AND MMC BEFORE THE WORK IS PERFORMED.

3. OTHER AGENCY REQUIREMENTS: EVIDENCE OF COMPLIANCE WITH ALL OTHER AGENCY REQUIREMENTS OR PERMITS SHALL BE SUBMITTED TO THE RE AND MMC FOR REVIEW AND ACCEPTANCE PRIOR TO THE BEGINNING OF WORK OR WITHIN ONE (1) WEEK OF THE PERMIT HOLDER OBTAINING DOCUMENTATION OF THOSE PERMITS OR REQUIREMENTS. EVIDENCE SHALL INCLUDE COPIES OF PERMITS, LETTERS OF RESOLUTION OR OTHER DOCUMENTATION ISSUED BY THE RESPONSIBLE AGENCY.

4. MONITORING EXHIBITS: ALL CONSULTANTS ARE REQUIRED TO SUBMIT TO THE RE AND MMC, A MONITORING EXHIBIT ON A 11"x17" REDUCTION OF THE APPROPRIATE CONSTRUCTION PLAN, SUCH AS SITE PLAN, GRADING, LANDSCAPE, ETC. MARKED TO CLEARLY SHOW THE SPECIFIC AREAS INCLUDING THE LIMIT OF WORK SCOPE OF THAT DISCIPLINE'S WORK, AND NOTES INDICATING WHEN IN THE CONSTRUCTION SCHEDULE THAT WORK WILL BE PERFORMED. WHEN NECESSARY FOR CLARIFICATION, A DETAILED METHODOLOGY OF HOW THE WORK WILL BE PERFORMED SHALL BE INCLUDED.

NOTE:  
SAFETY AND COST RECOVERY - WHEN DEEMED NECESSARY BY THE DEVELOPMENT SERVICES DIRECTOR OR CITY MANAGER, THEY MAY REQUIRE ADDITIONAL SURETY INSTRUMENTS OR BONDS FROM THE PERMIT HOLDER TO ENSURE THE LONG TERM PERFORMANCE OR IMPLEMENTATION OF REQUIRED MITIGATION MEASURES OR PROGRAMS. THE CITY IS AUTHORIZED TO RECOVER ITS COST TO OBTAIN THE SALARY, OVERHEAD, AND EXPENSES FOR CITY PERSONNEL AND PROGRAMS TO MONITOR QUALIFYING PROJECTS.

5. OTHER SUBMITTALS AND INSPECTIONS: THE PERMIT HOLDER'S REPRESENTATIVES SHALL SUBMIT ALL REQUIRED DOCUMENTATION, VERIFICATION LETTERS, AND REQUESTS FOR ALL ASSOCIATED INSPECTIONS TO THE RE AND MMC FOR APPROVAL PER THE FOLLOWING SCHEDULE:

ISSUE AREA	DOCUMENT SUBMITTAL	ASSOC INSPECTION/APV	NOTES
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**B. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS**

**ISSUE AREA - CONDITIONS**



PROJECT

RESIDENCE INN @ MISSION VALLEY  
SITE DEVELOPMENT PERMIT SUBMITTAL



445 CAMINO DEL RIO S.  
SAN DIEGO, CA 92108



ISSUE DATES

No.	Date	Description
0114-0077		SITE DEV PERMIT SUBMITTAL - COMPLETE CHECK
0113-08-17		SITE DEV PERMIT - INITIAL SUBMITTAL
0115-09-29		SITE DEV PERMIT - RESUBMITTAL
0115-10-05		SITE DEV PERMIT - RESUBMITTAL
0114-01-17		SITE DEV PERMIT - RESUBMITTAL

SHEET TITLE

CITY  
GENERAL NOTES

DRAWING I.D.:

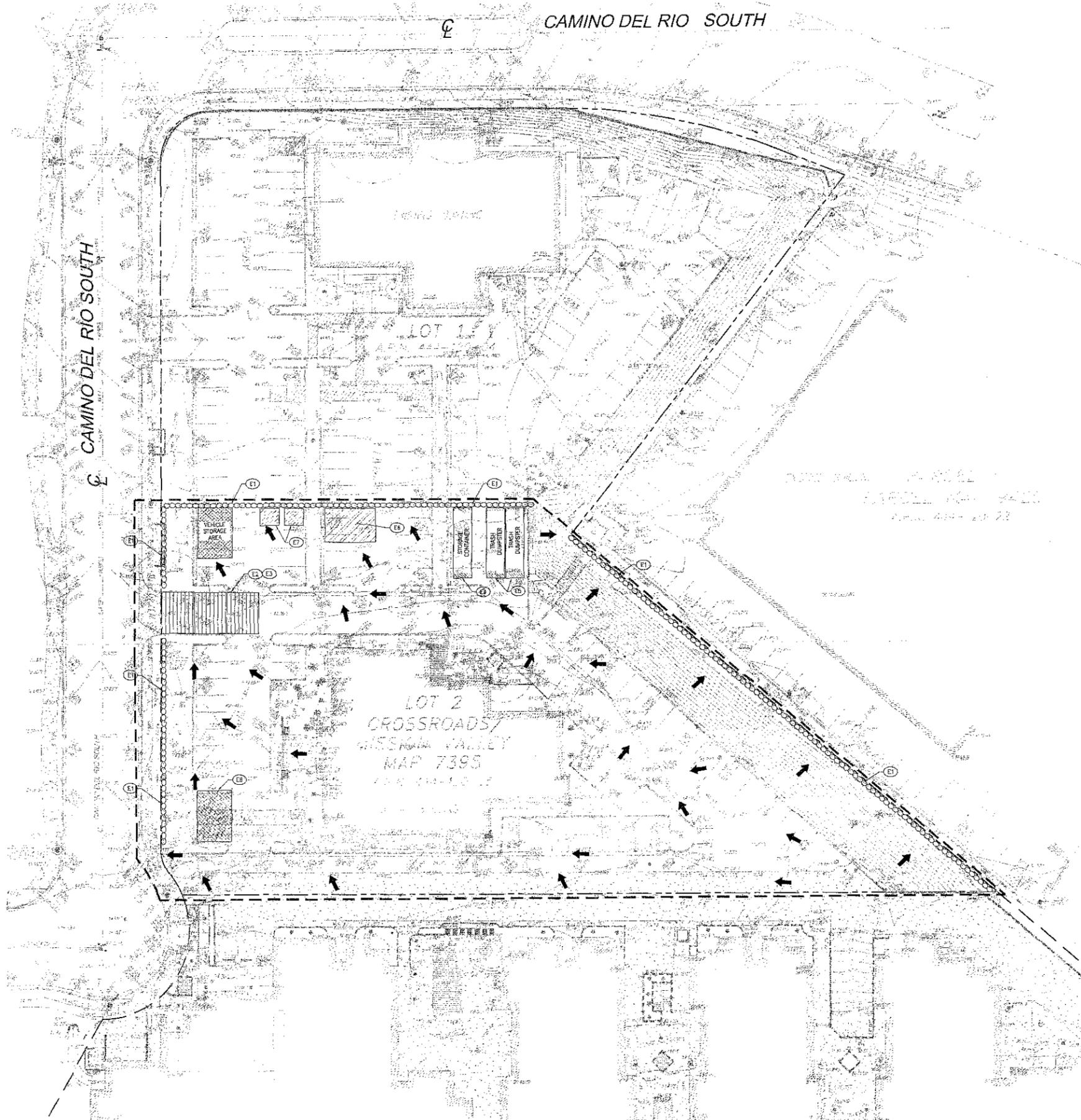
Project No.:

Date: 2013 - 12.05

SHEET NO.:

C102

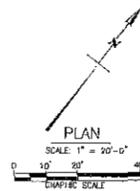




- EROSION CONTROL NOTES:**
- DUST SHALL BE CONTROLLED BY WATERING AND/OR APPLYING A DUST PALLIATIVE. THE DUST PALLIATIVE SHALL BE APPLIED IN THE AMOUNT AT THE LOCATIONS AS DIRECTED BY THE ENGINEER.
  - WATER FOR DUST CONTROL SHALL BE APPLIED BY MEANS OF PRESSURE TYPE DISTRIBUTORS OR PIPE LINES EQUIPPED WITH A SPRAY SYSTEM OR HOSES WITH NOZZLES THAT WILL INSURE A UNIFORM APPLICATION OF WATER.
  - UNLESS WATER IS APPLIED BY MEANS OF PIPE LINES, AT LEAST ONE MOBILE UNIT WITH A MINIMUM CAPACITY OF 100 GALLONS SHALL BE AVAILABLE FOR APPLYING WATER.
  - ALL SOIL MATERIALS OR DEBRIS TRUCKED FROM THE SITE SHALL BE COVERED AND SPRINKLED PRIOR TO ENTERING PUBLIC STREETS.
  - PROVIDE FOR WET SUPPRESSION OR CHEMICAL STABILIZING OF EXPOSED SOILS.
  - PROVIDE FOR RAPID CLEAN-UP OF SEDIMENTS DEPOSITED ON THE PAVED ROADS.
  - LIMIT THE AMOUNT OF AREAS DISTURBED BY CLEARING & EARTH MOVING OPERATIONS BY SCHEDULING THESE ACTIVITIES IN PHASES.
  - TEMPORARY EROSION CONTROL DEVICES SHOWN ON THE GRADING PLAN WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED AS AND WHEN THE INSPECTOR SO DIRECTS AS THE WORK PROGRESSES TO MEET "AS GRADED" CONDITIONS.
  - ALL LOOSE SOIL AND DEBRIS SHALL BE REMOVED FROM THE STREET ARCS UPON STARTING OPERATIONS AND PERIODICALLY THEREAFTER AS DIRECTED BY THE INSPECTOR.
  - WHEN THE INSPECTOR SO DIRECTS, A 12-INCH BERM SHALL BE MAINTAINED ALONG THE TOP OF THE SLOPE OF THOSE FILLS ON WHICH GRADING IS NOT IN PROGRESS.
  - STORM AND SEWER DRAIN TRENCHES THAT ARE CUT THROUGH BASIN DIKES OR BASIN INLET DIKES SHALL BE PLUGGED WITH SANDBAGS.
  - EXCEPT WHEN THE INSPECTOR DIRECTS OTHERWISE, ALL DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS FORECAST, AND SHALL BE MAINTAINED DURING THE RAINY SEASON (OCTOBER 15 TO APRIL 15).
  - SANDBAGS SHALL BE STOCKPILED ON SITE, READY TO BE PLACED IN POSITION WHEN RAIN IS FORECAST, OR WHEN THE INSPECTOR SO DIRECTS.
  - A "STANDBY EMERGENCY CREW" SHALL BE ALERTED BY THE PERMITEE OR THE CONTRACTOR TO PERFORM EMERGENCY WORK DURING RAINSTORMS. THE PARTY TO BE CONTACTED IS: \_\_\_\_\_ (TO BE FILLED IN BY CONTRACTOR)  
NAME: \_\_\_\_\_  
PHONE NUMBER: \_\_\_\_\_

- BMP NOTES:**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SLIT AND MUD ON ADJACENT STREET(S), DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY, AT THE END OF EACH DAY, OR AFTER A STORM EVENT THAT CAUSES A BREACH IN INSTALLED CONSTRUCTION BMP'S WHICH MAY COMPROMISE STORM WATER QUALITY WITHIN ANY STREET(S).
  - ALL STOCKPILES OF SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE COVERED. ALL REMOVABLE BMP DEVICES SHALL BE IN PLACE AT THE END EACH WORKING DAY WHEN THE DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
  - A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS WHICH ARE TO BE POURED IN PLACE ON SITE.
  - THE CONTRACTOR SHALL RESERVE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER AFTER EACH RUN-OFF PRODUCING RAINFALL OR AFTER ANY MATERIAL BREACH IN EFFECTIVENESS.
  - ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
  - THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

- EROSION CONTROL NOTES:**
- E1 PLACE SANDBAGS TRIPLE ROW PER CASQA BMP SE-8.
  - E2 STABILIZED CONSTRUCTION ENTRANCE PER CASQA BMP TC-1.
  - E3 ENTRANCE/OUTLET TIRE WASH PER CASQA BMP TC-3.
  - E4 MATERIAL DELIVERY AND STORAGE, PER CASQA BMP WM-1.
  - E5 SOLID WASTE MANAGEMENT, PER CASQA BMP WM-5.
  - E6 CONCRETE WASTE MANAGEMENT, PER CASQA BMP WM-8.
  - E7 SANITARY/SEPTIC WASTE MANAGEMENT, PER CASQA BMP WM-9.
  - E8 DENATURING OPERATIONS, PER CASQA BMP NS-2.
- LEGEND**
- LIMIT LINE OF EROSION CONTROL
  - - - - - PROPERTY LINE
  - ○ ○ ○ ○ SANDBAGS
  - EXISTING DRAINAGE DIRECTION OF FLOW



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PROJECT  
**RESIDENCE INN @ MISSION VALLEY**  
 SITE DEVELOPMENT PERMIT SUBMITTAL



445 CAMINO DEL RIO S.  
 SAN DIEGO, CA 92108

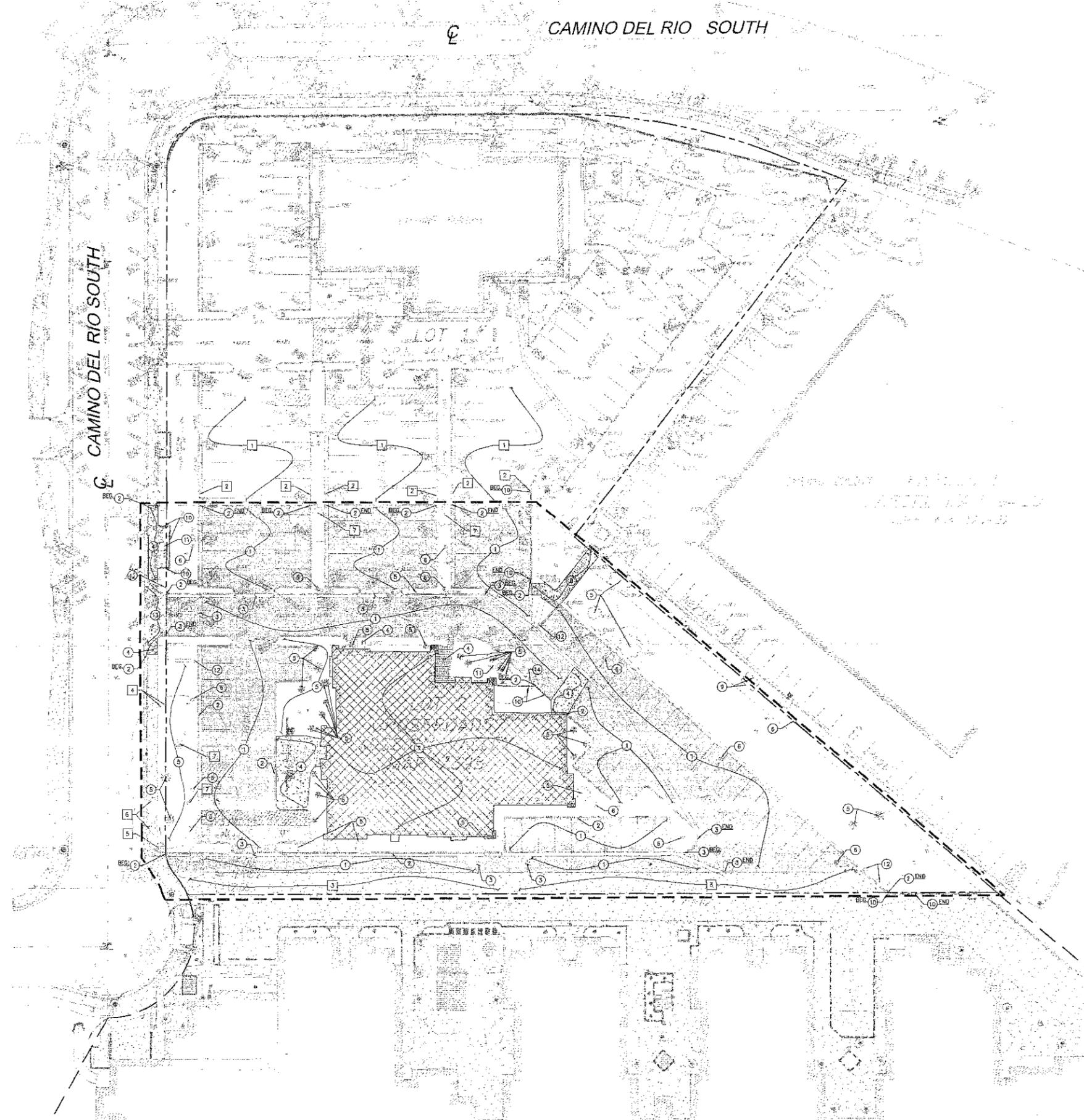


ISSUE DATES

No.	Date	Description
01	01/10/07	STP ENV. PERMIT SUB. COMPLETENESS CHECK
02	02/10/07	SITE DEV. PERMIT - INITIAL SUBMITTAL
03	03/13/08	SITE DEV. PERMIT - RESUBMITTAL
04	06/13/10	SITE DEV. PERMIT - RESUBMITTAL
05	07/14/11	SITE DEV. PERMIT - RESUBMITTAL

SHEET TITLE  
 EROSION CONTROL PLAN  
 DRAWING I.D.:  
 Project No.:  
 Date: 2013-12-05  
 SHEET NO.:

**C104**  
 SHEET 13 OF 21



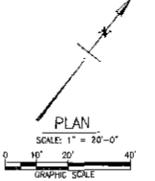
- GENERAL DEMOLITION NOTES:**
1. CONTRACTOR TO CLEAR PROJECT SITE AREA WITHIN THE CONFINES OF THE DEMOLITION LIMIT LINE. THE CONTRACTOR SHALL DEMOLISH AND REMOVE FROM THE SITE ALL EXISTING UTILITIES, STRUCTURES, PLANTERS, TREES, AND ALL OTHER SITE FEATURES, AS NOTED ON THESE PLANS.
  2. REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIALS.
  3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS AND SHALL PAY ALL FEES NECESSARY FOR ENCROACHMENT, GRADING, DEMOLITION AND DISPOSAL OF SAID MATERIALS AS REQUIRED BY PRIVATE, LOCAL AND STATE JURISDICTIONS.
  4. NOT ALL EXISTING SITE CONDITIONS AND IMPROVEMENTS MAY HAVE BEEN SHOWN ON DEMOLITION PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE TO VISIT THE SITE TO FULLY ACKNOWLEDGE, UNDERSTAND AND INCLUDE THE EXTENT OF DEMOLITION WORK REQUIRED FOR THE IMPROVEMENTS SHOWN ON THE CONTRACT PLANS.
  5. THE CONTRACTOR SHALL VERIFY AND LOCATE ALL EXISTING ABOVE AND UNDERGROUND UTILITIES. LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND ARE SHOWN FOR GENERAL INFORMATION ONLY.
  6. DAMAGE TO ANY EXISTING UTILITIES AND SERVICES TO REMAIN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPAIR AND/OR REPLACE IN KIND.
  7. EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PREVENT DEBRIS AND UNSUITABLE MATERIALS FROM ENTERING STORM DRAINS, SANITARY SEWERS AND STREETS.
  8. DUST CONTROL SHALL BE IMPLEMENTED DURING DEMOLITION.
  9. DEMOLITION IS LIMITED TO WITHIN DEMOLITION LIMIT LINE UNLESS NOTED OTHERWISE.
  10. CONTRACTOR SHALL INCLUDE IN THEIR SCOPE OF WORK DEMOLITION OF ALL EXISTING IMPROVEMENTS REQUIRED FOR THE CONSTRUCTION OF THE NEW IMPROVEMENTS SHOWN ON THE CONTRACT PLANS, REGARDLESS OF IF THE DEMOLITION AND REMOVAL OF THE EXISTING IMPROVEMENTS REQUIRED FOR NEW CONSTRUCTION IS EXPLICITLY SHOWN ON THESE PLANS TO BE DEMOLISHED AND REMOVED.
  11. DEMOLITION CALLOUTS IN THIS SECTION ARE REPRESENTATIVE OF WHAT IS TO BE DONE, NOT AN ITEMIZED ACCOUNTING FOR EACH PIPE, CATCH BASIN, MANHOLE, VAULT, ETC. THAT IS TO BE DEMOLISHED, REMOVED AND DISPOSED OF.

- DEMOLITION NOTES**
- TO BE DEMOLISH
- 1 DEMOLISH EXISTING ASPHALT.
  - 2 DEMOLISH EXISTING CURB/CURB & GUTTER.
  - 3 DEMOLISH EXISTING GUTTER.
  - 4 DEMOLISH EXISTING CONCRETE.
  - 5 DEMOLISH EXISTING TREE/SHRUB.
  - 6 DEMOLISH EXISTING LIGHT POLE AND BASE.
  - 7 DEMOLISH EXISTING BUILDING AND ASSOCIATED STRUCTURES.
  - 8 DEMOLISH EXISTING STAIRS AND ASSOCIATED STRUCTURES.
  - 9 RELOCATE EXISTING STORAGE SHED, COORDINATE WITH ADJACENT PROPERTY FOR RELOCATION.
  - 10 DEMOLISH EXISTING WALL.
  - 11 DEMOLISH EXISTING ELECTRICAL EQUIPMENT.
  - 12 REMOVE EXISTING SIGN.
  - 13 DEMOLISH EXISTING DRIVEWAY.
  - 14 DEMOLISH EXISTING FIRE DEPARTMENT CONNECTION.
- TO BE PROTECT-IN-PLACE
- 1 PROTECT-IN-PLACE EXISTING ASPHALT.
  - 2 PROTECT-IN-PLACE EXISTING CURB/CURB & GUTTER.
  - 3 PROTECT-IN-PLACE EXISTING CONCRETE.
  - 4 PROTECT-IN-PLACE EXISTING WATER UTILITY METER AND BFP.
  - 5 PROTECT-IN-PLACE EXISTING FIRE HYDRANT.
  - 6 PROTECT-IN-PLACE EXISTING COMMUNICATION VAULT/MANHOLE.
  - 7 PROTECT-IN-PLACE EXISTING TREE.

**LEGEND**

--- LIMIT LINE OF DEMOLITION

--- PROPERTY LINE



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PROJECT

**RESIDENCE INN @ MISSION VALLEY**  
 SITE DEVELOPMENT PERMIT SUBMITTAL



445 CAMINO DEL RIO S.  
 SAN DIEGO, CA 92108

**T<sub>2</sub>**  
 DEVELOPMENT

ISSUE DATES

No.	Date	Description
2013-04-17	2013-04-17	SITE DEV. PERMIT SUB. COMPLETION CHECK
2013-05-17	2013-05-17	SITE DEV. PERMIT. WITH SUBMITTAL
2013-09-20	2013-09-20	SITE DEV. PERMIT. RESUBMITTAL
2013-12-05	2013-12-05	SITE DEV. PERMIT. RESUBMITTAL
2014-01-27	2014-01-27	SITE DEV. PERMIT. RESUBMITTAL

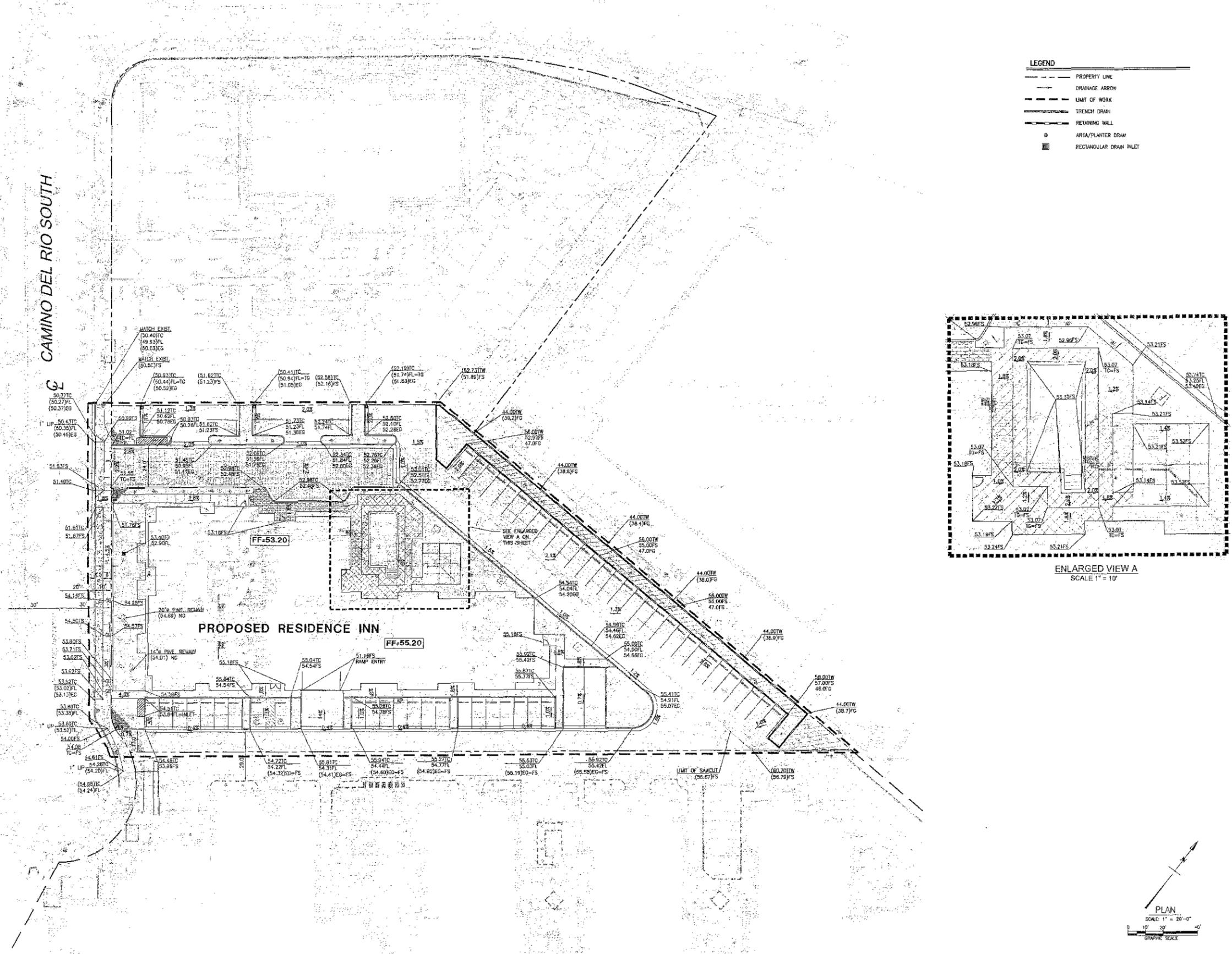
SHEET TITLE

DEMOLITION PLAN

DRAWING I.D.:  
 Project No.:  
 Date: 2013 - 12 - 05  
 SHEET NO.:

**C105**

CAMINO DEL RIO SOUTH



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PROJECT

**RESIDENCE INN  
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445 CAMINO DEL RIO S.  
 SAN DIEGO, CA 92108



DEVELOPMENT

ISSUE DATES

No.	Date	Description
2013-04-17		SITE DEV. PERMIT SUB. COMPLETE CHECK
2013-05-17		SITE DEV. PERMIT - INITIAL SUBMITTAL
2013-08-29		SITE DEV. PERMIT - RESUBMITTAL
2013-12-05		SITE DEV. PERMIT - RESUBMITTAL
2014-01-21		SITE DEV. PERMIT - RESUBMITTAL

SHEET TITLE

GRADING PLAN

DRAWING I.D.:

Project No.:

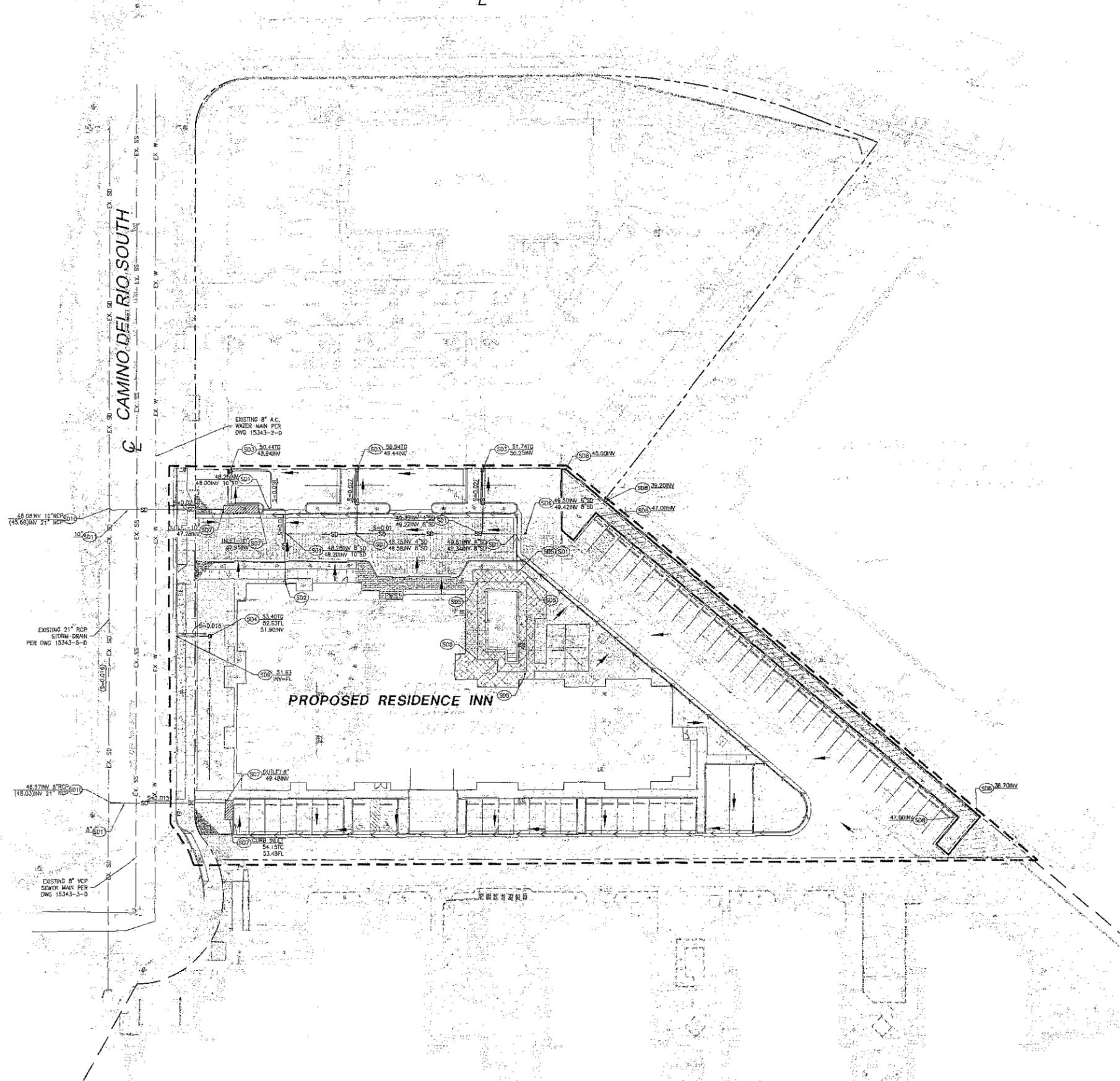
Date: 2013 - 12-05

SHEET NO.

**C106**

SHEET 15 OF 23

CAMINO DEL RIO SOUTH



UTILITY CONSTRUCTION NOTES:

- STORM DRAIN**
- SD1) PVC, SDR-35 STORM DRAIN PIPE, SEE CITY OF SAN DIEGO SDD-110 FOR PIPE BEDDING FOR STORM DRAINS.
  - SD2) POINT OF CONNECTION 5 FEET FROM BUILDING FACE. SEE PLUMBING DRAWINGS FOR CONTINUATION INTO THE BUILDING.
  - SD3) PRECAST CONCRETE CATCH BASIN, JENSEN PRECAST PRODUCTS OR APPROVED EQUIVALENT WITH TRAFFIC RATED GRATE, SEE DETAIL 6, SHEET C110.
  - SD4) PRECAST CONCRETE CATCH BASIN, JENSEN PRECAST PRODUCTS OR APPROVED EQUIVALENT WITH NON-TRAPPING RATED GRATE, SEE DETAIL 6, SHEET C110.
  - SD5) ACD K100S TRENCH DRAIN WITH ADA PERFORATED STEEL GRATE.
  - SD6) CLEAN OUT, SEE DETAIL 10, SHEET C111.
  - SD7) MODULAR WETLANDS SYSTEM. SEE PLAN FOR INLET AND OUTLET INVERT ELEVATIONS.
  - SD8) SUBDRAN WITH WEEP HOLE PER DETAIL 6, SHEET C110.
  - SD9) SIDEWALK UNDER DRAIN, SEE CITY OF SAN DIEGO STANDARD DRAWING D-27.
  - SD10) POINT OF CONNECTION TO 21" RCP, SEE CITY OF SAN DIEGO REFERENCE DRAWING 15343-5-D, CONTRACTOR TO VERIFY LOCATION.
  - SD11) RCP STORM DRAIN PIPE, SEE SAN DIEGO SDD-110 FOR PIPE BEDDING FOR STORM DRAINS.

- LEGEND**
- LIMIT LINE OF WORK
  - - - - - PROPERTY LINE
  - - - - - DRAINAGE FLOWLINE
  - DRAINAGE DIRECTION

**NOTE:**  
ALL BURIED DUCTILE IRON AND COPPER PIPE, FITTINGS, VALVES, AND APPURTENANCES SHALL BE COATED WITH A DIELECTRIC COATING: A LIQUID EPOXY COATING SYSTEM PER AWWA C-210 AT 24 MILS MINIMUM DRY FILM THICKNESS (MFT) 3M SCOTCHKOTEEM 323/3233 LIQUID EPOXY CONTAINS FOR CORROSION PROTECTION OR EQUIVALENT, OR A COLD APPLIED THREE PART SYSTEM PETROLEUM WAX TAPE PER AWWA C-217, OR A 100% POLYURETHANE COATING OF 24 MILS MFT SUITABLE FOR BURIED USE DENSIL TAPE BY DENSOL OR EQUIVALENT.

**NOTE:**  
1. NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY PUBLIC WATER AND SEWER FACILITIES.  
2. ALL ON-SITE WATER AND SEWER FACILITIES WILL BE PRIVATE AND SHALL BE DESIGNED TO MEET THE REQUIREMENTS OF THE CALIFORNIA UNIFORM PLUMBING CODE AND SHALL BE REVIEWED AS PART OF THE BUILDING PERMIT PLAN CHECK.

**NOTE:**  
1. PARKING LOT TREES AND PLANTINGS WILL BE INCORPORATED INTO THE DESIGN OF BMP'S.



PROJECT

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**ISSUE DATES**

No.	Date	Description
2013-08-17	2013-08-17	SITE DEV. PERMIT SUB. COMPLETENESS CHECK
2013-08-17	2013-08-17	SITE DEV. PERMIT FINAL SUBMITTAL
2013-09-02	2013-09-02	SITE DEV. PERMIT REVISIONS
2013-12-05	2013-12-05	SITE DEV. PERMIT REVISIONS
2014-01-27	2014-01-27	SITE DEV. PERMIT REVISIONS

SHEET TITLE

STORM DRAIN PLAN

DRAWING I.D.:

Project No.:

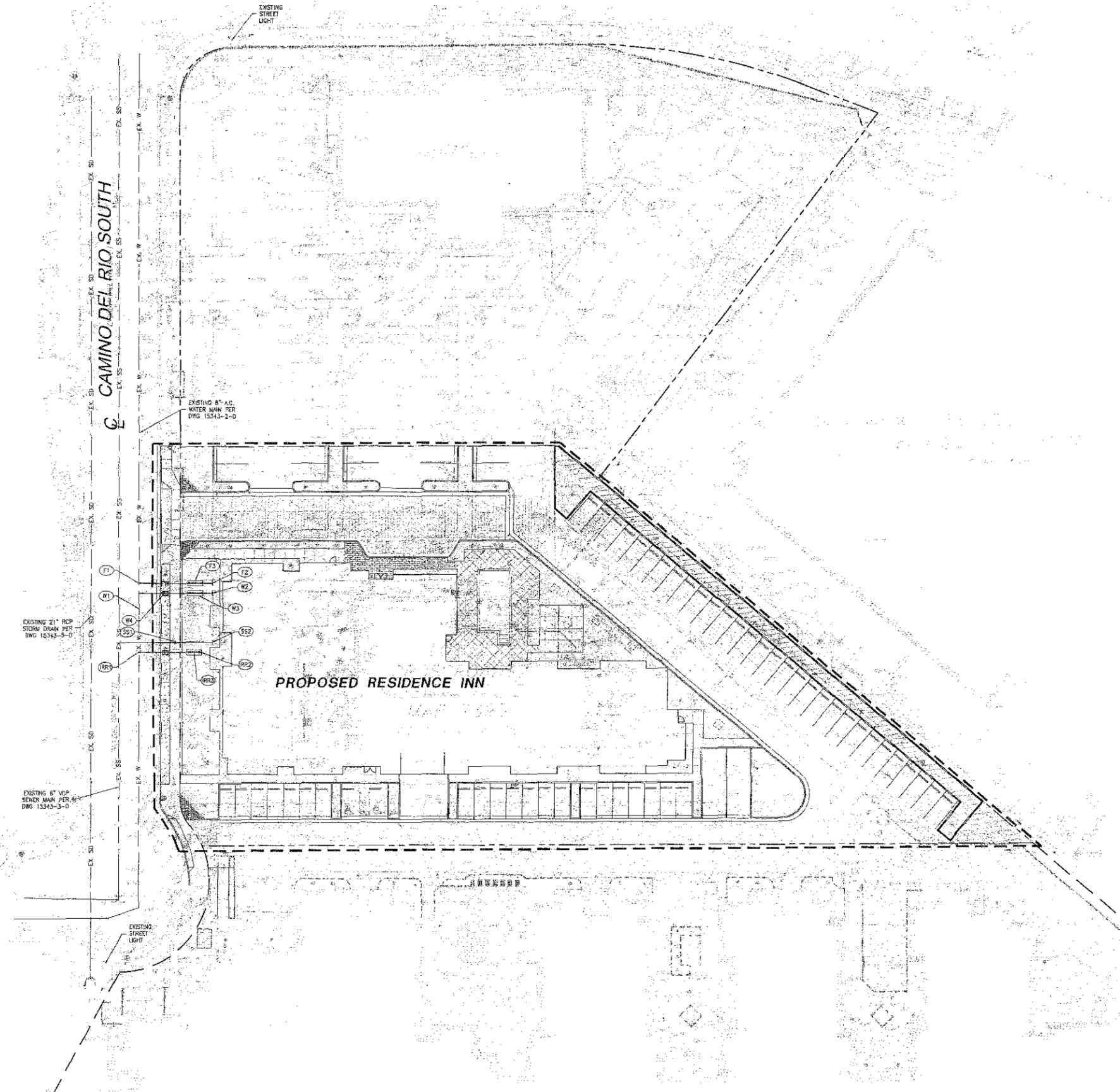
Date: 2013-12-05

SHEET NO.:

**C107**

SHEET 18 OF 23

CAMINO DEL RIO SOUTH



UTILITY CONSTRUCTION NOTES:

- SANITARY SEWER**
- (SS1) CONNECT TO EXISTING 8" SS LATERAL SEWER PIPE BE PVC SDR-35 WITH CLEANOUT AT PROPERTY LINE PER CITY OF SAN DIEGO SDS-103.
  - (SS2) POINT OF CONNECTION 5 FEET FROM BUILDING FACE. SEE PLUMBING DRAWINGS FOR CONTINUATION INTO BUILDING.
- DOMESTIC WATER**
- (W1) DOMESTIC WATER PIPE AND SERVICE PER CITY OF SAN DIEGO STANDARD PLAN. SEE SIZE PER PLAN.
  - (W2) POINT OF CONNECTION 5 FEET FROM BUILDING FACE. SEE PLUMBING DRAWINGS FOR CONTINUATION INTO BUILDING.
  - (W3) RPDA BACKFLOW PREVENTION DEVICE PER CITY OF SAN DIEGO STANDARD PLAN.
  - (W4) WATER METER VAULT INSTALLATION BY CITY OF SAN DIEGO SHOWN FOR COORDINATION PURPOSES ONLY. CONTRACTOR TO COORDINATE WATER SERVICE CONNECTION WITH LOCAL PROVIDER.
  - (W5) THRUST BLOCK PER CITY OF SAN DIEGO STANDARD PLAN SDW-151.
- FIRE SERVICE**
- (F1) FIRE WATER PIPE. NEW FIRE SERVICE PER CITY OF SAN DIEGO STANDARDS.
  - (F2) POINT OF CONNECTION 5 FEET FROM BUILDING FACE. SEE PLUMBING DRAWINGS FOR CONTINUATION.
  - (F3) RPDA BACKFLOW PREVENTION DEVICE WITH FDC PER CITY OF SAN DIEGO STANDARD PLAN PRIVATE.
- IRRIGATION**
- (IR1) EXISTING 1" WATER SERVICE TO REMAIN.
  - (IR2) POINT OF CONNECTION TO IRRIGATION LINE. SEE IRRIGATION PLANS FOR CONTINUATION.
  - (IR3) RPDA BACKFLOW PREVENTION DEVICE PER CITY OF SAN DIEGO STANDARD PLAN.

- LEGEND**
- LIMIT LINE OF WORK
  - - - - - PROPERTY LINE

**NOTE:**  
ALL BURIED DUCTILE IRON AND COPPER PIPE, FITTINGS, VALVES, AND APPURTENANCES SHALL BE COATED WITH A DIELECTRIC COATING. A LIQUID EPOXY COATING SYSTEM PER ANWA C-210 AT 24 MILS MINIMUM DRY FILM THICKNESS (DFT) 3M SCOTCHCRETE 323/323 LIQUID EPOXY COATINGS FOR CORROSION PROTECTION OR EQUIVALENT, OR A COLD APPLIED THREE PART SYSTEM PETROLEUM WAX TAPE PER ANWA C-217, OR A 100% POLYURETHANE COATING OF 24 MILS MUST SUITABLE FOR BURIED USE DENSITAP BY DENSITAP OR EQUIVALENT.

- NOTE:**
- NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY PUBLIC WATER AND SEWER FACILITIES.
  - ALL ON-SITE WATER AND SEWER FACILITIES WILL BE PRIVATE AND SHALL BE DESIGNED TO MEET THE REQUIREMENTS OF THE CALIFORNIA UNIFORM PLUMBING CODE AND SHALL BE REVIEWED AS PART OF THE BUILDING PERMIT PLAN CHECK.

**NOTE:**  
ALL WATER SERVICES TO THE SITE, INCLUDING DOMESTIC, IRRIGATION AND FIRE, WILL REQUIRE PRIVATE BACKFLOW PREVENTION DEVICES (BPDS). BPDS SHALL BE LOCATED ON PRIVATE PROPERTY IN LINE WITH THE SERVICE AND IMMEDIATELY ADJACENT TO THE RIGHT-OF-WAY. THE PUBLIC UTILITIES DEPARTMENT WILL NOT PERMIT THE REQUIRED BPDS TO BE LOCATED BELOW GRADE OR WITHIN A STRUCTURE.

- SEWER NOTE:**
- THE ESTIMATED PROPOSED DISCHARGE TO THE EXISTING 8" SEWER MAIN IS 0.046 CFS. THIS VALUE WAS OBTAINED USING THE CITY OF SAN DIEGO'S SEWER DESIGN GUIDE (2013) AND IS BASED ON ZONE-DENSITY CONVERSIONS.
  - ALL EXISTING SEWER LATERALS SHALL BE LOCATED AND ABANDONED AT THE PROPERTY LINE.

**WATER SERVICE NOTE:**

- ALL EXISTING WATER SERVICES THAT ARE NOT UTILIZED SHALL BE ABANDONED/KILLED AT THE MAIN.



PROJECT

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SITE DEVELOPMENT PERMIT SUBMITTAL



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**ISSUE DATES**

No.	Date	Description
2013-04-17	2013-04-17	SITE DEV. PERMIT SUB COMPLETENESS CHECK
2013-05-17	2013-05-17	SITE DEV. PERMIT INITIAL SUBMITTAL
2013-08-28	2013-08-28	SITE DEV. PERMIT RESUBMITTAL
2013-12-05	2013-12-05	SITE DEV. PERMIT RESUBMITTAL
2014-01-21	2014-01-21	SITE DEV. PERMIT RESUBMITTAL

SHEET TITLE

WATER & SEWER PLAN

DRAWING I.D.

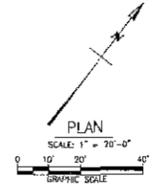
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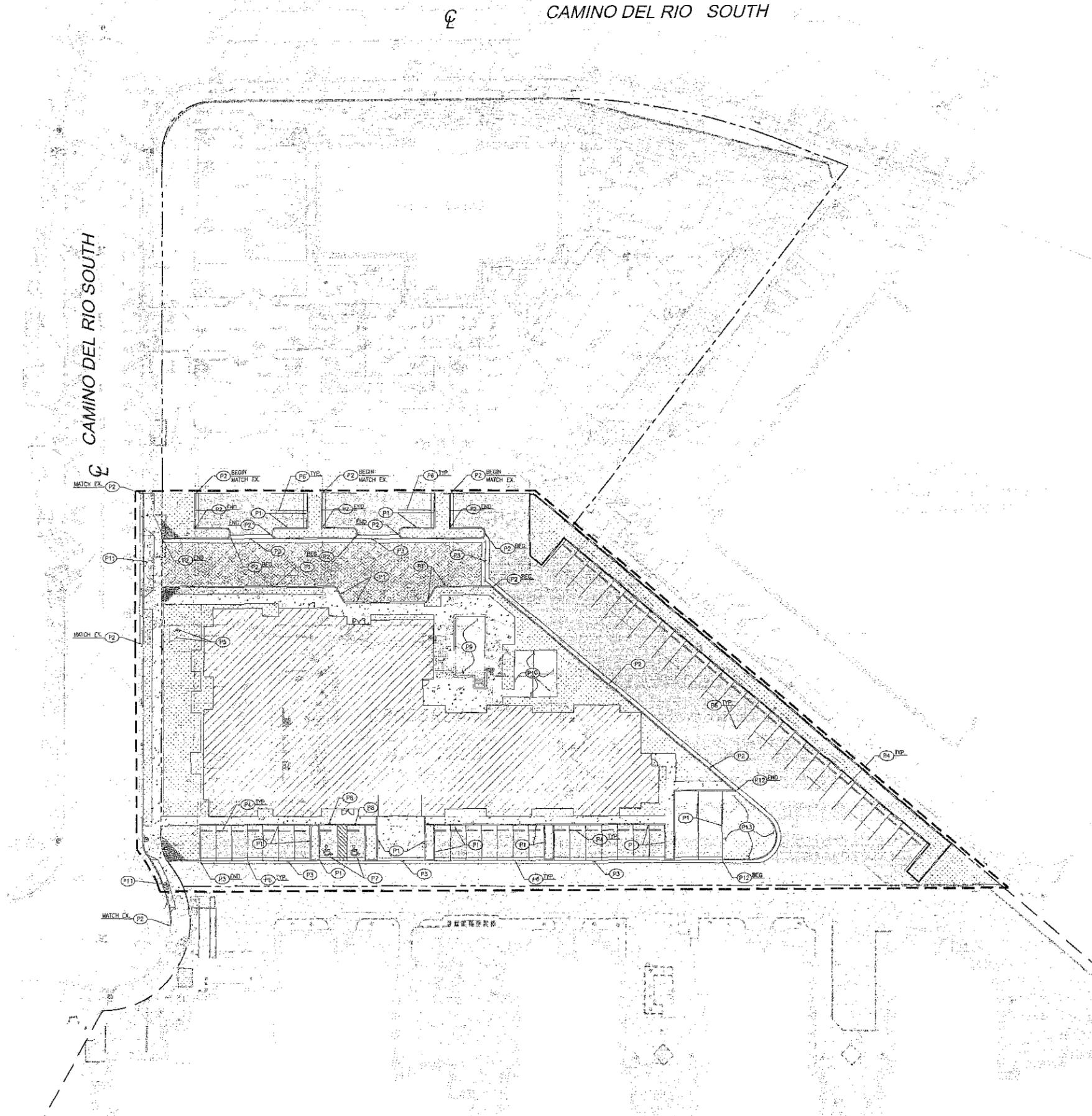
Date: 2013 - 12-05

SHEET NO.:

**C108**

SHEET 17 OF 21





- PAVING CONSTRUCTION NOTES**
- (P1) CONCRETE CURB PER DETAIL 3, SHEET C110.
  - (P2) CONCRETE CURB AND GUTTER PER DETAIL 12, SHEET C111.
  - (P3) CONCRETE VALLEY GUTTER PER DETAIL 7, SHEET C110.
  - (P4) WHEEL STOP PER DETAIL 14, SHEET C111.
  - (P5) CONCRETE PAD PER ARCHITECTURAL PLANS.
  - (P6) PARKING STALL STRIPING PER DETAIL 13, SHEET C111.
  - (P7) ACCESSIBLE PARKING STALL PER DETAIL 11, SHEET C111.
  - (P8) ACCESSIBLE PARKING SIGNING PER DETAIL 9, SHEET C111.
  - (P9) POOL PER ARCHITECTURAL PLANS.
  - (P10) SPORT COURT AREA PER ARCHITECTURAL PLANS.
  - (P11) CONCRETE COMMERCIAL DRIVEWAY PER CITY OF SAN DIEGO STD. SDG163.
  - (P12) ROLLED CONCRETE CURB AND GUTTER PER DETAIL 15, SHEET C111.
  - (P13) GRASSCRETE PER LANDSCAPE PLANS.

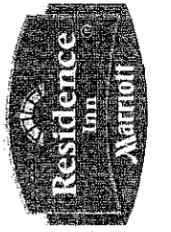
- LEGEND**
- ASPHALT PAVING, SEE DETAIL 4, SHEET C110.
  - CONCRETE WALK, SEE LANDSCAPE PLANS FOR DETAILS.
  - DECORATIVE PAVING, SEE LANDSCAPE PLANS FOR DETAILS.
  - LANDSCAPE AREA, SEE LANDSCAPE PLANS FOR DETAILS.
  - PROPOSED BUILDING SEE ARCHITECTURAL PLANS FOR DETAILS.
  - LIMIT OF WORK
  - PROPERTY LINE
  - RETAINING WALL, SEE ARCHITECTURAL PLANS FOR DETAILS.

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PROJECT

**RESIDENCE INN @ MISSION VALLEY**  
 SITE DEVELOPMENT PERMIT SUBMITTAL



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DEVELOPMENT

ISSUE DATES

No.	Date	Description
2319-04-17		SITE DEV PERMIT SUBMITTAL COMPLETENESS CHECK
2013-05-17		SITE DEV PERMIT SUBMITTAL WITH SUBMITTAL
2013-09-20		SITE DEV PERMIT SUBMITTAL RE-SUBMITTAL
2013-12-05		SITE DEV PERMIT SUBMITTAL RE-SUBMITTAL
2014-01-21		SITE DEV PERMIT SUBMITTAL RE-SUBMITTAL

SHEET TITLE

PAVING PLAN

DRAWING I.D.:

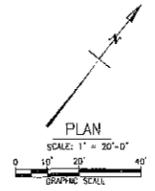
Project No.:

Date: 2013-12-05

SHEET NO.:

**C109**

SHEET 18 OF 23



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DEVELOPMENT

ISSUE DATES

No.	Date	Description
2013-09-17	2013-09-17	SITE DEV. PERMIT SUB. COMPLETENESS CHECK
2013-09-17	2013-09-17	SITE DEV. PERMIT SUB. REVISIONS
2013-09-17	2013-09-17	SITE DEV. PERMIT SUB. REVISIONS
2013-09-17	2013-09-17	SITE DEV. PERMIT SUB. REVISIONS
2013-09-17	2013-09-17	SITE DEV. PERMIT SUB. REVISIONS
2013-09-17	2013-09-17	SITE DEV. PERMIT SUB. REVISIONS

SHEET TITLE

DETAILS

DRAWING I.D.:

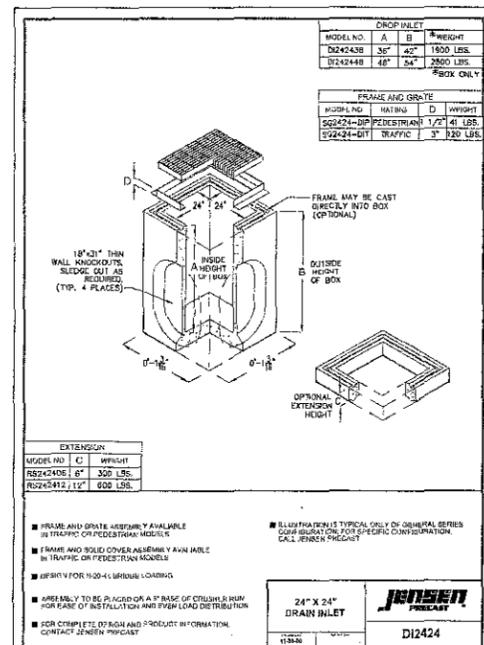
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Date: 2013-12-06

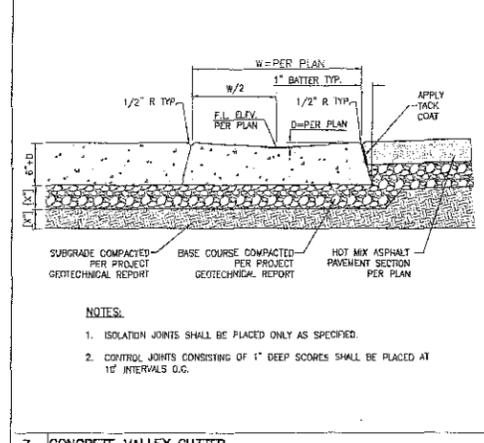
SHEET NO.:

**C110**

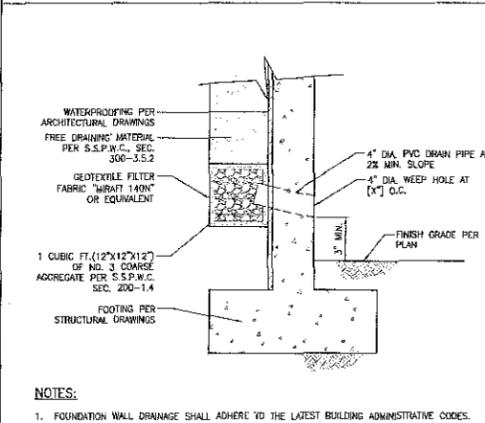
SHEET 19 OF 23



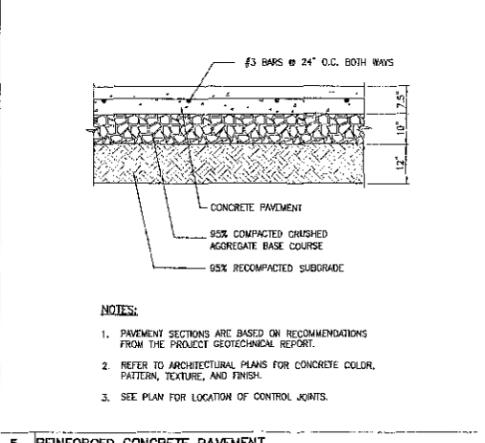
8 JENSEN 24"x24" PRECAST CONCRETE CATCH BASIN N.T.S.



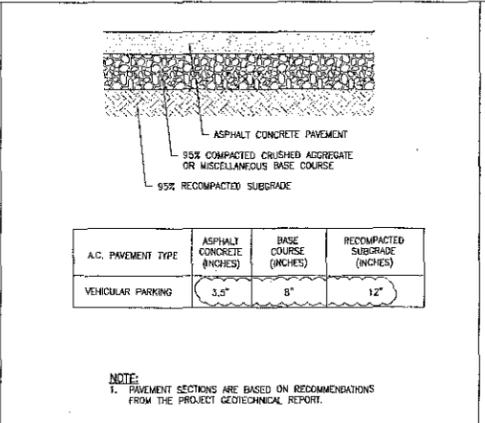
7 CONCRETE VALLEY GUTTER N.T.S.



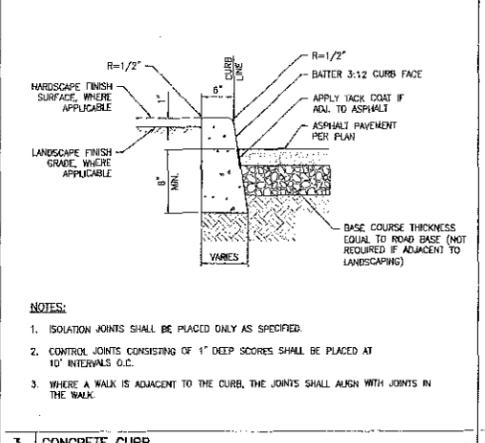
6 FOOTING DRAIN DETAIL WITH WEEPHOLE CONDITION N.T.S.



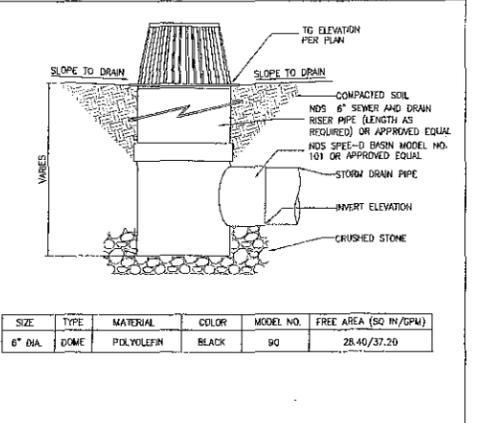
5 REINFORCED CONCRETE PAVEMENT N.T.S.



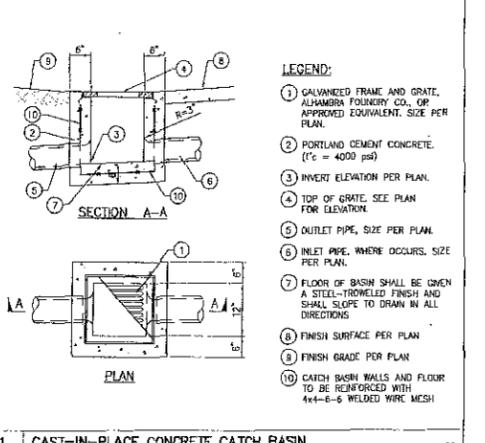
4 ASPHALT PAVEMENT SECTION N.T.S.



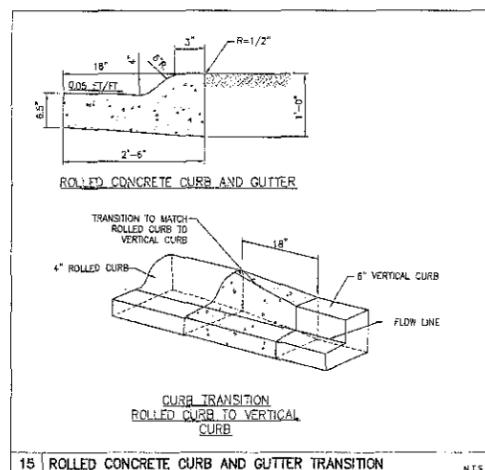
3 CONCRETE CURB N.T.S.



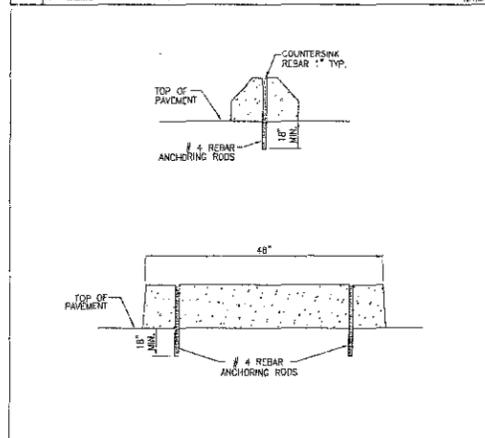
2 PLANTER DRAIN DETAIL N.T.S.



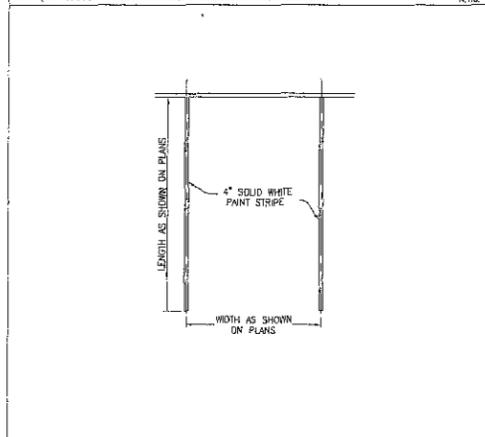
1 CAST-IN-PLACE CONCRETE CATCH BASIN N.T.S.



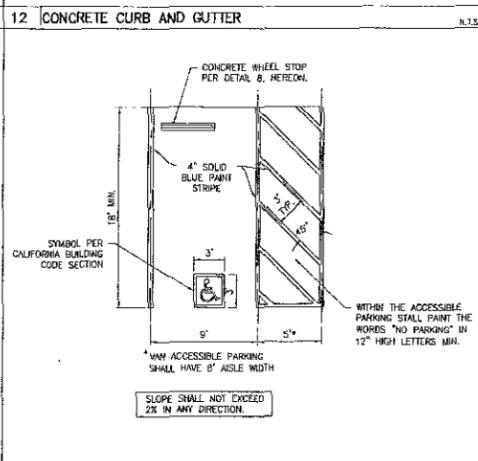
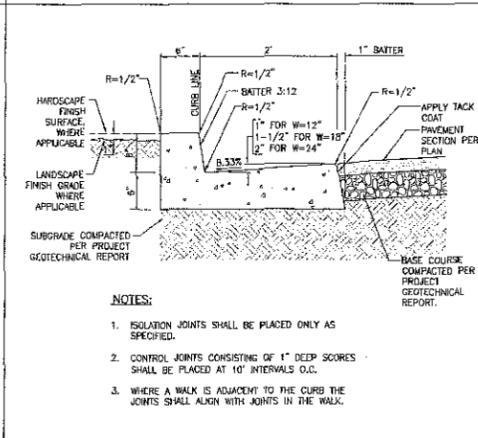
15 ROLLED CONCRETE CURB AND GUTTER TRANSITION N.T.S.



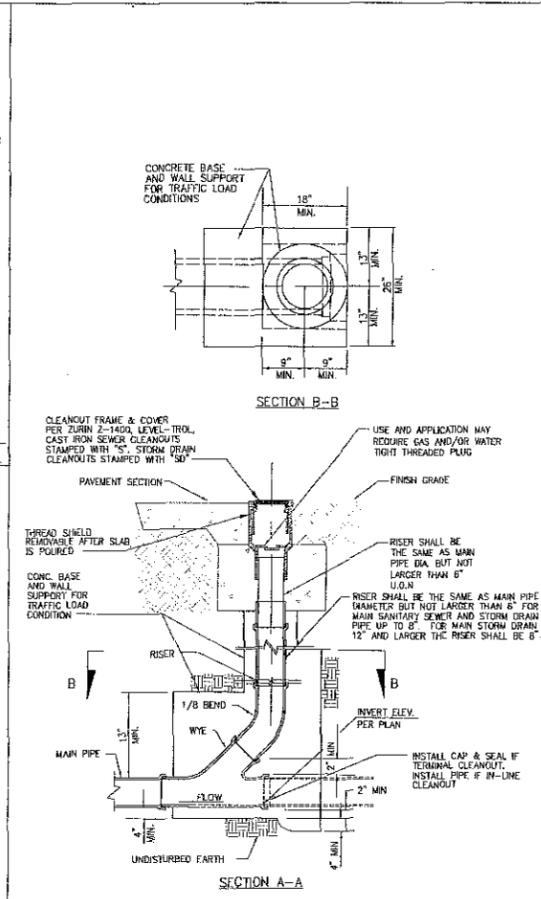
14 4' LONG REINFORCED PRECAST WHEEL STOP N.T.S.



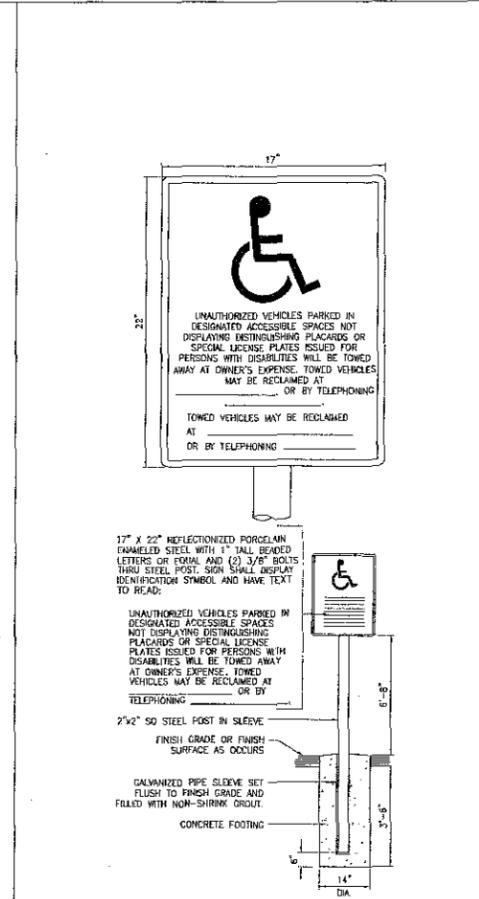
13 STANDARD 90° PARKING STALL N.T.S.



11 ACCESSIBLE 90° PARKING STALL N.T.S.



10 CLEANOUT DETAIL N.T.S.



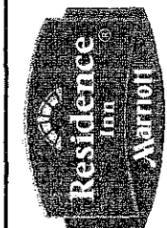
9 ACCESSIBLE PARKING IDENTIFICATION SIGNAGE N.T.S.

**kpff** Consulting Engineers  
 8400 Van Meter Ave. Suite 800  
 Irvine, California 92618  
 (949) 262-0822 Fax (949) 262-0062

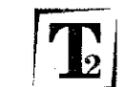


PROJECT

**RESIDENCE INN @ MISSION VALLEY**  
 SITE DEVELOPMENT PERMIT SUBMITTAL



445 CAMINO DEL RIO S.  
 SAN DIEGO, CA 92108



DEVELOPMENT

ISSUE DATES

No.	Date	Description
2015-2017		SITE DEV PERMIT SUB COMPLETION CHECK
2013-05-17		PULP DEV PERMIT WITH SUBMITTAL
2013-05-17		SITE DEV PERMIT WITH SUBMITTAL
2013-05-28		RESUBMITTAL
2013-12-05		SITE DEV PERMIT RESUBMITTAL
2014-01-21		SITE DEV PERMIT RESUBMITTAL

SHEET TITLE

DETAILS

DRAWING I.D.

Project No.

Date: 2013-12-05

SHEET NO.

**C111**

SHEET 26 OF 23

ATTACHMENT 6

**RECORDING REQUESTED BY**  
 CITY OF SAN DIEGO  
 DEVELOPMENT SERVICES  
 PERMIT INTAKE, MAIL STATION 501

**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24003752

**SITE DEVELOPMENT PERMIT NO. 1126097**  
**RESIDENCE INN - PROJECT NO. 322365**  
 HEARING OFFICER

This Site Development Permit No. 1126097 is granted by the Hearing Officer of the City of San Diego to M7 DEV, LLC, a California Limited Liability Company, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] Section 126.0504. The 1.41-acre site is located at 445 Camino Del Rio South, east of State Route 163. The site is in the MV-CO-CV Zone of the Mission Valley Planned District within the in the Mission Valley Community Plan, Hillside Subdistrict (Southern slopes) and the Development Intensity Overlay District Area J within the Mission Valley Planned District (MVPD), Federal Aviation Administration (FAA) Part 77 Noticing Area for the San Diego International Airport (SDIA) Lindbergh Field and Montgomery Field, Airport Influence Area for the Montgomery Field, Transit Area Overlay Zone, and Council Districts 3 and 7. The project site is legally described as Parcel 1: Lot 2 of Cross Road Mission Valley in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 7395, on file in the Office of the County Recorder of San Diego County on August 9, 1972; Parcel 2: Non-Exclusive Easements within the common areas of Lots 1 and 3 of Cross Road Mission Valley in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 7395, on file in the Office of the County Recorder of San Diego County on August 9, 1972, as set forth in that certain document entitled Declaration of Restrictions and Grant of Easements dated March 5, 1975, executed by Crossroads Associates, a General Partnership, recorded April 7, 1975, Document No. 75-077997 of Official Records.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for the demolition of an existing restaurant and construction of a 118-guestroom, 5-story hotel; described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated March 19, 2014, on file in the Development Services Department.

The project shall include:

- a. Demolition of an existing restaurant and construction of a 103,500-square foot (total gross area includes the parking garage), 118-guestroom, 5-story hotel with underground parking;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;
- d. Construction of associated site improvements (i.e. hardscape, fences and site walls);
- e. Leadership in Energy and Environmental Design (LEED) Silver Certification; and
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by **April 3, 2017**.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to

control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**ENGINEERING REQUIREMENTS:**

11. Prior to the issuance of any construction permits, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent Best Management Practices (BMP's) maintenance, satisfactory to the City Engineer.
12. Prior to the issuance of any construction permits, the Owner/Permittee shall incorporate any construction BMP's necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications, satisfactory to the City Engineer.
13. Prior to the issuance of any construction permits, the Owner/Permittee shall incorporate and show the type and location of all post-construction BMP's on the final construction drawings, in accordance with the approved Water Quality Technical Report, satisfactory to the City Engineer.
14. The drainage system proposed for this development is private and subject to approval by the City Engineer.
15. All driveways and curb openings shall comply with City Standard Drawings SDG-163 and SDG-164, and be constructed to the satisfaction of the City Engineer.
16. Prior to the issuance of a grading permit, the Owner/Permittee shall obtain an Encroachment Maintenance and Removal Agreement for private storm drains proposed in the public right-of-way, satisfactory to the City Engineer.
17. This project proposes to export 2,650 cubic yards of material from the project site. All export material shall be discharged into a legal disposal site. The approval of this project does not allow the onsite processing and sale of the export material unless the underlying zone allows a construction and demolition debris recycling facility with an approved Neighborhood Use Permit or Conditional Use Permit per LDC Section 141.0620(i).
18. Prior to the issuance of a building permit, the Owner/Permittee shall obtain a grading permit for the grading proposed for this project. All grading shall conform to requirements in accordance with the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.
19. Development of this project shall comply with all requirements of State Water Resources Control Board (SWRCB) Order No. 2009-009 DWQ and the Municipal Storm Water Permit, Order No. 2009-009 (NPDES General Permit No. CAS000002 and CAS0108758), Waste Discharge Requirements for Discharges of Storm Water Runoff Associated With Construction Activity. In accordance with said permit, a Storm Water Pollution Prevention Plan (SWPPP) and

a Monitoring Program Plan shall be implemented concurrently with the commencement of grading activities, and a Notice of Intent (NOI) shall be filed with the SWRCB.

20. A copy of the acknowledgment from the SWRCB that an NOI has been received for this project shall be filed with the City of San Diego when received; further, a copy of the completed NOI from the SWRCB showing the permit number for this project shall be filed with the City of San Diego when received. In addition, the owner(s) and subsequent owner(s) of any portion of the property covered by this grading permit and by SWRCB Order No. 2009-009 DWQ, and any subsequent amendments thereto, shall comply with special provisions as set forth in SWRCB Order No. 2009-009 DWQ.

21. Prior to the issuance of any construction permits, the Owner/Permittee shall assure by permit and bond, the construction of sidewalk, curb and gutter along the project frontage, as shown on Exhibit "A," to the satisfaction of the City Engineer.

22. Prior to issuance of any construction permit, the Owner/Permittee shall assure by permit and bond, the demolition and removal of the concrete masonry block wall and electrical equipment in the Camino del Rio South public right-of-way, to the satisfaction of the City Engineer.

#### **GEOLOGY REQUIREMENTS:**

23. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

24. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond and grading permit close-out.

#### **LANDSCAPE REQUIREMENTS:**

25. Prior to issuance of any engineering permits for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydroseeding of all disturbed land in accordance with the Landscape Standards and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Office of the Development Services Department.

26. Prior to issuance of any engineering permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall take into account a 40 square foot area around each tree which is unencumbered by utilities.

Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

27. In the event that a foundation only permit is requested, the Owner/Permittee shall submit a site plan or staking layout plan identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Office of the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions and labeled as 'landscaping area.'

28. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Office of the Development Services Department. Construction plans shall take into account a 40 square foot area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)(5).

29. Prior to issuance of any construction permits, the Owner/Permittee shall submit a tree protection plan to be reviewed and approved by the Development Services Department. The tree protection plan shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Office of the Development Services Department.

30. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

31. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity.

32. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace it, in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department, within 30 days of damage.

#### **PLANNING/DESIGN REQUIREMENTS:**

33. Prior to issuance of building permits, the Owner/Permittee shall provide documentation that the project has been submitted to the U.S. Green Building Council for review and will achieve at least a Leadership in Energy and Environmental Design (LEED) Silver Certification. Construction documents shall note all criteria included in the design and construction of the project as identified in the LEED certification application.

34. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

35. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.

36. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

#### **TRANSPORTATION REQUIREMENTS:**

37. The applicant shall implement a Transportation Demand Management (TDM) plan employing techniques such as carpooling, van pooling, transit, bicycling, shuttle service, and walking. Annually or in response to Code Enforcement activities, the applicant shall ensure that the TDM Plan adequately meets the proposed reduction in automobile parking satisfactory to the City Engineer. The TDM has been made a part of the approved Exhibit "A."

38. No fewer than 118 off-street parking spaces (or 102 off-street parking spaces provided and an approved TDM Plan implemented) shall be permanently maintained on the property within the approximate location shown on the project's Exhibit "A" provided an acceptable TDM plan has been implemented and is maintained. Further, all on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code, and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the Development Services Department Director.

39. The owner/applicant shall provide for future construction or expansion of a parking facility that provided at least 18 additional parking spaces as shown on Exhibit "A," Sheet A100, to be constructed upon direction of the City Manager, if the TDM plan is not complied with by the applicant. Any parking removed during this construction shall be temporarily replaced via shared parking agreements with adjacent properties during construction.

#### **PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:**

40. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Director of Public Utilities and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way. The Public Utilities Department will not permit the required BFPDs to be located below grade or within the structure.

41. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of all public water and sewer facilities are to be in accordance with established criteria in the most current City of San Diego Water and Sewer Design Guides.

42. All proposed private water and sewer facilities located within a single lot are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.
43. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.
44. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to cap (abandon) at the property line any existing unused sewer lateral and install new sewer lateral(s) which must be located outside of any driveway or vehicular use area.
45. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to remove (kill) at the main any existing unused water service.

**INFORMATION ONLY:**

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on March 19, 2014, pursuant to Resolution No. HO-\_\_\_\_\_.

Permit Type/PTS Approval No.: SDP No. 1126097  
Date of Approval: March 19, 2014

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES  
DEPARTMENT

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Jeffrey A. Peterson  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

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**The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of  
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.**

**M7 Dev, LLC, a California Limited Liability Company**  
Owner/Permittee

By \_\_\_\_\_  
Name:  
Title:

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

HEARING OFFICER  
RESOLUTION NO. HO-\_\_\_\_\_  
SITE DEVELOPMENT PERMIT NO. 1126097  
**RESIDENCE INN - PROJECT NO. 322365**

WHEREAS, M7 DEV, LLC, a California Limited Liability Company, Owner and Permittee, filed an application with the City of San Diego for a permit to demolish an existing restaurant and to construct a 118-guestroom, 5-story hotel with underground parking (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1126097), on portions of a 1.41-acre site;

WHEREAS, the project site is located at 445 Camino Del Rio South, east of State Route 163. The site is in the MV-CO-CV Zone of the Mission Valley Planned District within the in the Mission Valley Community Plan, Hillside Subdistrict (Southern slopes) and the Development Intensity Overlay District Area J within the Mission Valley Planned District (MVPD), Federal Aviation Administration (FAA) Part 77 Noticing Area for the San Diego International Airport (SDIA) Lindbergh Field and Montgomery Field, Airport Influence Area for the Montgomery Field, Transit Area Overlay Zone, and Council Districts 3 and 7;

WHEREAS, the project site is legally described as Parcel 1: Lot 2 of Cross Road Mission Valley in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 7395, on file in the Office of the County Recorder of San Diego County on August 9, 1972; Parcel 2: Non-Exclusive Easements within the common areas of Lots 1 and 3 of Cross Road Mission Valley in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 7395, on file in the Office of the County Recorder of San Diego County on August 9, 1972, as set forth in that certain document entitled Declaration of Restrictions and Grant of Easements dated March 5, 1975, executed by Crossroads Associates, a General Partnership, recorded April 7, 1975, Document No. 75-077997 of Official Records;

WHEREAS, on March 19, 2014, the Hearing Officer of the City of San Diego considered Site Development Permit No. 1126097 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on December 19, 2013, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15332 (Infill Development), and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated March 19, 2014.

FINDINGS:**I. Site Development Permit - Section 126.0504****A. Findings for all Site Development Permits****1. The proposed development will not adversely affect the applicable land use plan;**

The project site is located at 445 Camino Del Rio South, east of State Route 163, in the MV-CO-CV Zone of the Mission Valley Planned District (MVPD) within the in the Mission Valley Community Plan (MVCP) area. The MV-CO-CV zoning designation allows for establishments catering to the lodging, dining, and shopping needs of visitors. The community plan designates the proposed project site for Office (office, professional-medical, and financial institutions) or Commercial-Recreation (lodging, recreational, and entertainment facilities) uses.

The project proposes the demolition of an existing restaurant and construction of a 118-guestroom, 5-story hotel with underground parking on a 1.41-acre site. The project proposes no deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. Therefore, the proposed development will not adversely affect the applicable land use plan.

**2. The proposed development will not be detrimental to the public health, safety, and welfare; and**

The project proposes the demolition of an existing restaurant and construction of a 118-guestroom, 5-story hotel with underground parking on a 1.41-acre site. The project site is an interior lot, located at 445 Camino Del Rio South, east of State Route 163, in the MV-CO-CV Zone within the Hillside Subdistrict (Southern slopes) and the Development Intensity Overlay District Area J of the MVPD. The southern portion of the project site is identified within the Hillsides (25-percent or greater slope gradient) area within the MVCP. However, the property contains a maximum 15-foot slope differential or 7.4-percent slope with a highest slope contour of 55-feet. The site is not within or adjacent to the Multiple Species Conservation Program (MSCP) Multiple Habitat Planning Area (MHPA) and does not contain any other type of Environmental Sensitive Lands (ESL) as defined in Land Development Code (LDC) Section 113.0103. The project proposes no deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site.

The City of San Diego conducted an environmental review of this site in accordance with State of California Environmental Quality Act (CEQA) guidelines. The project was

determined to be categorically exempt from CEQA pursuant to Section 15332, Infill Development, which allows for the construction of infill development within an urbanized area that can be adequately serviced by all required utilities and public services.

The permit for the project does include various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the LDC in effect for this project. Such conditions have been determined as necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. The project shall comply with the development conditions in effect for the subject property as described in Site Development Permit (SDP) No. 1126097, and other regulations and guidelines pertaining to the subject property per the LDC. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

**3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.**

The project site is located at 445 Camino Del Rio South, east of State Route 163, in the MV-CO-CV Zone of the MVPD within the in the MVCP area. The MV-CO-CV zoning designation allows for establishments catering to the lodging, dining, and shopping needs of visitors. The community plan designates the proposed project site for Office (office, professional-medical, and financial institutions) or Commercial-Recreation (lodging, recreational, and entertainment facilities) uses. The project proposes the demolition of an existing restaurant and construction of a 118-guestroom, 5-story hotel with underground parking on a 1.41-acre site.

The MVCP contains goals and policies for design and development, including criteria for the hillside and density. These design criteria have been incorporated in the MVPD Ordinance regulations that govern the site. The project proposes no deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site pursuant to the applicable regulations of the LDC.

**II. Mission Valley Planned District - Section 1514.0201(d)(3)**

**1. The proposed development is consistent with the Mission Valley Community Plan and the Progress Guide and General Plan;**

The project site is an interior lot, located at 445 Camino Del Rio South, east of State Route 163, in the MV-CO-CV Zone within the MVCP. The community plan designates the proposed project site for Office (office, professional-medical, and financial institutions) or Commercial-Recreation (lodging, recreational, and entertainment facilities) uses. The project proposes the demolition of an existing restaurant and construction of a 118-guestroom, 5-story hotel with underground parking on a 1.41-acre site. The development proposes a maximum building height of 63-feet 2-inches.

The southern portion of the project site is identified within the Hillside (25-percent or greater slope gradient) area within the MVCP. However, the property contains a maximum 15-foot slope differential or 7.4-percent slope with a highest slope contour of 55-feet. In this area, the MVCP objective is to allow for low-intensity development to occur on remaining hillside exceeding 25-percent slope to be located below the 150-foot elevation contour. Even though the property does not contain a 25-percent or greater slope gradient, the proposed maximum building height of 63-feet 2-inches with the highest slope contour of 55-feet would have an overall height of 118-feet 2-inches, which is below 150-foot elevation contour.

The MVCP contains goals and policies for design and development, including criteria for the hillside and density. These design criteria have been incorporated in the MVPD Ordinance regulations that govern the site. The project proposes no deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site pursuant to the MVCP and the Progress Guide and General Plan.

**2. The proposed development provides the required public facilities and is compatible with adjacent open space areas;**

The project proposes the demolition of an existing restaurant and construction of a 118-guestroom, 5-story hotel with underground parking on a 1.41-acre site. The project proposes no deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for the site. The site is an interior lot, located at 445 Camino Del Rio South, east of State Route 163, in an urbanized area of the MVPD that contains existing public facilities. However, as a condition of approval, the existing sidewalk, curb and gutter along the project frontage shall be replaced and landscape improvements shall be incorporated into the public right-of-way. The site is not within or adjacent to any existing or proposed open space, the MHPA, and does not contain any other type of ESL as defined in LDC Section 113.0103. Therefore, the proposed development provides the required public facilities.

**3. The proposed development meets the purpose, intent and criteria of the Mission Valley Planned District Ordinance including the applicable "Guidelines for Discretionary Review" adopted as a part of this planned district; and**

The project site is an interior lot, located at 445 Camino Del Rio South, east of State Route 163, in the MV-CO-CV Zone within the Hillside Subdistrict (Southern slopes) and the Development Intensity Overlay District Area J of the MVPD. The project proposes the demolition of an existing restaurant and construction of a 118-guestroom, 5-story hotel with underground parking on a 1.41-acre site. The development proposes a maximum building height of 63-feet 2-inches. The property contains a maximum 15-foot slope differential or 7.4-percent slope with a highest slope contour of 55-feet. The site is not within or adjacent

to the MHPA and does not contain any other type of ESL as defined in LDC Section 113.0103.

Within the Hillside Subdistrict, the building height is limited to 40-feet. An exception to 40-foot height limit may be approved up to 65-feet in height if specific development standards are met in accordance with LDC Section 1514.0303(c)(1)(A). These development standards are as follows: 1. All natural existing hillside vegetation and topography shall be preserved; 2. Any previously graded hillsides shall be recontoured into a naturalistic form and revegetated with indigenous plants; and 3. Buildings and structures shall be designed and sited so that a minimum 30-foot-wide open public view corridor is created to the hillside from adjacent public streets and freeways.

The Worldmark Timeshare Hotel complex to the south is located between the project site and the existing hillside, and the project site does not contain any existing natural hillside vegetation or topography. Therefore, the first and second development standards are not applicable to the proposed site.

The third development standard requires the building to be designed and sited so that a minimum 30-foot wide open public view corridor is created to the hillside from adjacent public streets and freeways. Although the proposed project provides a view corridor along Camino Del Rio South of 21-feet (measuring from property line to the building edge along the west side) the current public view toward the hillside is already blocked by the adjacent Worldmark Timeshare Hotel complex to the south. Therefore, the view corridor requirement is not applicable at this location and the request to exceed the 40-foot height limit may be granted up to 65-feet in height.

The MVCP contains goals and policies for design and development, including criteria for the hillside and density. These design criteria have been incorporated in the MVPD Ordinance regulations that govern the site. The project proposes no deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. Therefore, proposed development meets the purpose, intent and criteria of the MVPD Ordinance including the applicable "Guidelines for Discretionary Review" adopted as a part of this planned district.

**4. The proposed development will comply with all other relevant regulations in the San Diego Municipal Code.**

The project site is located at 445 Camino Del Rio South, east of State Route 163, in the MV-CO-CV Zone of the MVPD within the in the MVCP area. The MV-CO-CV zoning designation allows for establishments catering to the lodging, dining, and shopping needs of visitors. The community plan designates the proposed project site for Office (office, professional-medical, and financial institutions) or Commercial-Recreation (lodging, recreational, and entertainment facilities) uses. The project proposes the demolition of an

existing restaurant and construction of a 118-guestroom, 5-story hotel with underground parking on a 1.41-acre site.

The MVCP contains goals and policies for design and development, including criteria for the hillside and density. These design criteria have been incorporated in the MVPD Ordinance regulations that govern the site. The project proposes no deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site pursuant to the applicable regulations of the San Diego Municipal Code (SDMC). The proposed development will comply with all other relevant regulations in the SDMC.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Development Services Department, Site Development Permit No.1126097 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1126097 a copy of which is attached hereto and made a part hereof.

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Jeffrey A. Peterson  
Development Project Manager  
Development Services Department

Adopted on: March 19, 2014

Internal Order No. 24003752

**Peterson, Jeff**

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**From:** Dottie Surdi [dottie.surdi@svn.com]  
**Sent:** Monday, December 16, 2013 11:32 PM  
**To:** Peterson, Jeff  
**Subject:** Re: MVPG agenda // Re: MVCPG & DAB Agendas, Residence Inn & Homewood Suites

**recommended approval with following conditions:**

- **Applicant fulfill all outstanding City cycle comments**
- **Project is determined to be exempt from environmental review**
- **Applicant include rendering and materials proposed for project in the recorded discretionary documents**

**The motion was approved 13 – 0 –1 .**

Regards,

***Dottie Surdi*** | Advisor

Sperry Van Ness Finest City Commercial

Sales | Leasing | Management

4849 Ronson Ct., Suite #216 | San Diego, CA 92111

BRE 01771294 | Cell 858 349-2007 Fax 619 342-3189

*Serving All Your Commercial Real Estate Needs*

All Sperry Van Ness® Offices Independently Owned and Operated



No representation or recommendation is made by Sperry Van Ness Finest City Commercial as to the legal sufficiency or tax consequences of this document or the transaction to which it relates. These are questions for your attorney and/or other advisors. In any real estate transaction, it is recommended that you consult with a professional such as an attorney, accountant, civil engineer, property inspector or other person, with experience in evaluating the transaction, and the legal documents prepared in connection therewith.

## NOTICE OF EXEMPTION

*(Check one or both)*

TO:  Recorder/County Clerk  
 P.O. Box 1750, MS A-33  
 1600 Pacific Hwy, Room 260  
 San Diego, CA 92101-2422

FROM: City of San Diego  
 Development Services Department  
 1222 First Avenue, MS 501  
 San Diego, CA 92101

Office of Planning and Research  
 1400 Tenth Street, Room 121  
 Sacramento, CA 95814

Project Title/No.: **RESIDENCE INN SDP / 322365**

State Clearinghouse No.: Not Applicable

Project Location-Specific: 445 Camino Del Rio South, San Diego, CA

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: A SITE DEVELOPMENT PERMIT is being requested for the demolition of an existing two-story restaurant and associated surface parking lot and construction of a 118-room, five-story hotel with a one-level subterranean parking. The project would also construct various associated site improvements (e.g. pool, outdoor amenities, hardscape, retaining walls, and landscaping). The developed 1.41-acres (61,546-square-feet) project site is located at 445 Camino Del Rio South. The land use designation for the project site is Commercial Recreation within the community plan. The project site is located within MV-CO-CV Zone of the Mission Valley Planned District Ordinance (MVPDO), the Southern Hillside Subdistrict of the MVPDO, Development Intensity Overlay Area J, and the Airport Influence Area (Review Area 2 – Montgomery Field) of the Mission Valley Community Plan area. (LEGAL DESCRIPTION: Parcel 1: Lot 2 of Crossroad Mission Valley Map No. 7395; Parcel 2: Non-exclusive easements within the common areas of Lots 1 and 3 of Crossroads Mission Valley, Map No. 7395, as set forth in that certain document entitled Declarations of Restrictions and Grant of Easements, dated March 5, 1975, Document No. 75-077997).

Name of Person or Agency Carrying Out Project: Rashik Patel, SD Circle Hotel LLC, 620 Newport Center Drive, Newport Beach, CA 92660, (949) 610-8036.

Exempt Status: (CHECK ONE)

- Ministerial (Sec. 21080(b)(1); 15268)
- Declared Emergency (Sec. 21080(b)(3); 15269(a))
- Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- Categorical Exemption: 15332 (Infill Development Projects)
- Statutory Exemptions:

Reasons why project is exempt: The project meets the criteria set forth in CEQA Section 15332 which allows for the construction of infill development within an urbanized area that can be adequately served by all required utilities and public services. The development occurs within the City of San Diego jurisdiction and the project site is less than five acres (1.41-acres) and is surrounded by urban uses; the project would not result in any significant impacts to biological resources, historical resources, traffic, noise, air quality, or water quality; and lastly, the project can be adequately be served by all required utilities and public services.

Furthermore, the exceptions listed in CEQA Section 15300.2 would not apply in that no cumulative impacts were identified; no significant effect on the environmental were identified; the project is not adjacent to a scenic highway; the project was not identified on a list of hazardous waste sites pursuant to Section 65962.5 of the Government Code.

Lead Agency Contact Person: E. Shearer-Nguyen

Telephone: (619) 446-5369

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project?  
 Yes     No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA.



Senior Planner

Signature/Title

December 19, 2013

Date

Check One:

Signed By Lead Agency

Date Received for Filing with County Clerk or OPR:

Signed by Applicant



THE CITY OF SAN DIEGO

Date of Notice: February 11, 2014

**NOTICE OF RIGHT TO APPEAL  
ENVIRONMENTAL DETERMINATION  
DEVELOPMENT SERVICES DEPARTMENT**

Internal Order No. 24003752

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**PROJECT NAME/NUMBER: RESIDENCE INN SDP / 322365**

**COMMUNITY PLAN AREA:** Mission Valley

**COUNCIL DISTRICT:** 7

**LOCATION:** 445 Camino Del Rio South, San Diego, CA

**PROJECT DESCRIPTION:** A SITE DEVELOPMENT PERMIT is being requested for the demolition of an existing two-story restaurant and associated surface parking lot and construction of a 118-room, five-story hotel with a one-level subterranean parking. The project would also construct various associated site improvements (e.g. pool, outdoor amenities, hardscape, retaining walls, and landscaping). The developed 1.41-acres (61,546-square-feet) project site is located at 445 Camino Del Rio South. The land use designation for the project site is Commercial Recreation within the community plan. The project site is located within MV-CO-CV Zone of the Mission Valley Planned District Ordinance (MVPDO), the Southern Hillside Subdistrict of the MVPDO, Development Intensity Overlay Area J, and the Airport Influence Area (Review Area 2 – Montgomery Field) of the Mission Valley Community Plan area. (LEGAL DESCRIPTION: Parcel 1: Lot 2 of Crossroad Mission Valley Map No. 7395; Parcel 2: Non-exclusive easements within the common areas of Lots 1 and 3 of Crossroads Mission Valley, Map No. 7395, as set forth in that certain document entitled Declarations of Restrictions and Grant of Easements, dated March 5, 1975, Document No. 75-077997).

**ENTITY CONSIDERING PROJECT APPROVAL:** City of San Diego Hearing Officer

**ENVIRONMENTAL DETERMINATION:** Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15332 (Infill Development Projects).

**ENTITY MAKING ENVIRONMENTAL DETERMINATION:** City of San Diego

**STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION:** The project meets the criteria set forth in CEQA Section 15332 which allows for the construction of infill development within an urbanized area that can be adequately served by all required utilities and public services. The development occurs within the City of San Diego jurisdiction and the project site is less than five acres (1.41-acres) and is surrounded by urban uses; the project would not result in any

significant impacts to biological resources, historical resources, traffic, noise, air quality, or water quality; and lastly, the project can be adequately be served by all required utilities and public services.

Furthermore, the exceptions listed in CEQA Section 15300.2 would not apply in that no cumulative impacts were identified; no significant effect on the environmental were identified; the project is not adjacent to a scenic highway; the project was not identified on a list of hazardous waste sites pursuant to Section 65962.5 of the Government Code.

**DEVELOPMENT PROJECT MANAGER:** Jeffrey A. Peterson  
**MAILING ADDRESS:** 1222 First Avenue, MS-501, San Diego CA 92101  
**PHONE NUMBER:** (619) 446-5237

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On December 19, 2013 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business (February 26, 2014) from the date of the posting of this Notice. The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.

Project Title: Residence Inn by Marriott Project No. (For City Use Only) 322365

**Part II - To be completed when property is held by a corporation or partnership.**

Legal Status (please check):

Corporation  Limited Liability -or-  General) What State? CA Corporate Identification No. \_\_\_\_\_  
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached  Yes  No

Corporate/Partnership Name (type or print):  
M7 Dev, LLC  
 Owner  Tenant/Lessee  
 Street Address:  
620Newport Center Dr  
 City/State/Zip:  
Newport Beach, CA. 92660  
 Phone No: (949) 610 8200 Fax No: (949) 610-8285  
 Name of Corporate Officer/Partner (type or print):  
MKP ONE, LLC as its manager  
 Title (type or print):  
Manager  
 Signature :  Date: 9/20/2013

Corporate/Partnership Name (type or print):  
Mayur Patel Family Trust  
 Owner  Tenant/Lessee  
 Street Address:  
620 Newport Center Drive, Suite 1400  
 City/State/Zip:  
Newport Beach, CA 92660  
 Phone No: (949) 610-8085 Fax No: (949)610-8285  
 Name of Corporate Officer/Partner (type or print):  
MAYUR PATEL  
 Title (type or print):  
TRUSTEE  
 Signature :  Date: 9/20/2013

Corporate/Partnership Name (type or print):  
MKP One, LLC  
 Owner  Tenant/Lessee  
 Street Address:  
SAME AS ABOVE  
 City/State/Zip:  
 Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
 Name of Corporate Officer/Partner (type or print):  
Mayur Patel  
 Title (type or print):  
Manager  
 Signature :  Date: 9/20/13

Corporate/Partnership Name (type or print):  
 \_\_\_\_\_  
 Owner  Tenant/Lessee  
 Street Address:  
 \_\_\_\_\_  
 City/State/Zip:  
 Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
 Name of Corporate Officer/Partner (type or print):  
 \_\_\_\_\_  
 Title (type or print):  
 \_\_\_\_\_  
 Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Corporate/Partnership Name (type or print):  
 \_\_\_\_\_  
 Owner  Tenant/Lessee  
 Street Address:  
 \_\_\_\_\_  
 City/State/Zip:  
 Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
 Name of Corporate Officer/Partner (type or print):  
 \_\_\_\_\_  
 Title (type or print):  
 \_\_\_\_\_  
 Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Corporate/Partnership Name (type or print):  
 \_\_\_\_\_  
 Owner  Tenant/Lessee  
 Street Address:  
 \_\_\_\_\_  
 City/State/Zip:  
 Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
 Name of Corporate Officer/Partner (type or print):  
 \_\_\_\_\_  
 Title (type or print):  
 \_\_\_\_\_  
 Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Below is Ownership Info. for site in question:

M7 Dev, LLC

Mayur Patel Family Trust 99%

Mayur Patel - Trustee 50%

Kalpana Patel -Trustee 50%

MKP One, LLC 1% - Managing Member of LLC

Mayur Patel - Member 50%

Kalpana Patel -Member 50%

DEVELOPMENT SERVICES DEPARTMENT  
PROJECT CHRONOLOGY  
RESIDENCE INN - PROJECT NO. 322365

<b>Date</b>	<b>Action</b>	<b>Description</b>	<b>City Review Time (Working Days)</b>	<b>Applicant Response</b>
9/20/2013	First Submittal	Project Deemed Complete	-	-
10/3/2013	First Assessment Letter		9 days	
12/6/2013	Second Submittal			43 days
12/20/2013	Second Assessment Letter		10 days	
1/28/2014	Third Submittal			34 days
2/7/2014	Third Review Completed	All issues resolved.	8 days	
2/11/2014	NORA Posted		2 days	
2/26/2014	NORA	End of NORA appeal period		10 days
3/19/2014	Public Hearing	<b>First available date.</b>	15 days	
<b>TOTAL STAFF TIME</b>		(Does not include City Holidays or City Furlough)	<b>44 days</b>	
<b>TOTAL APPLICANT TIME</b>		(Does not include City Holidays or City Furlough)		<b>87 days</b>
<b>TOTAL PROJECT RUNNING TIME</b>		From Deemed Complete to Hearing	<b>131 working days</b> (180 calendar days)	